

AGENDA

PLANNING & ZONING COMMISSION

May 11, 2026
6:00 p.m.

Channahon Municipal Center (Board Room)
24555 S. Navajo Dr.
Channahon, IL 60410

Agenda Items

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Public Comment**
5. **Approval of Minutes** – April 13, 2026
6. **Public Hearing** – *Application for Rezoning to C-2 with a Special Use Permit for 24710 W Eames to allow for the development of drive-through restaurant.*
7. **Review and Recommendation** - Rezoning to C-2 with a Special Use Permit for 24710 W Eames to allow for the development of drive-through restaurant.
8. **Public Hearing** – *Application for Rezoning to C-2 with a Special Use Permit for 24740 W Eames to allow for the development of retail center and ancillary specialty car detail shop.*
9. **Review and Recommendation** – Application for Rezoning to C-2 with a Special Use Permit for 24740 W Eames to allow for the development of retail center and ancillary specialty car detail shop.
10. **Review and Recommendation** – Right-of-way Plat of Dedication: Dellos Road Solar
11. **Review and Recommendation** – Final Site Plan Approval: Mallard Point Senior Apartments filed by Mallard Point Acquisition LLC
12. **Review and Recommendation** – Final Plat of Subdivision: Southern Crossing Unit 4 filed by Lennar
13. **Other Business**

ADJOURNMENT

Next Commission Meeting: June 8, 2026

**** Anyone attending is suggested to arrive at 6:00 p.m. Anyone requiring any special accommodations should contact the Village Hall.**

The full PZC agenda packet is posted on the village website at <https://www.channahon.org/agendacenter>.

The public may email comments to pzcmeeting@channahon.org. These comments will be read into the record.

PLANNING AND ZONING COMMISSION
VILLAGE OF CHANNAHON

April 13, 2026
6:00 p.m.

Channahon Municipal Center (Board Room)
24555 S. Navajo Dr.
Channahon, IL 60410

Agenda Items

1. Call to Order

Meeting called to order at 6:00 p.m.

2. Pledge of Allegiance

3. Roll Call

Present: Commissioners Ciarlette, Gregory, Madding, Thurlby, Weaver and Chairman Blackburn.
Commissioner Larson, absent.

Others Present: Scott McMaster, Director of Community Development & Information Systems;
Tom Durkin, Village Administrator; and Mary Jane Larson, Inspections Coordinator.

Chairman Blackburn stated order of proceedings and recording of the meeting.

4. Public Comment

None

5. Approval of Minutes – March 9, 2026

Motion to approve the minutes of the March 9, 2026 meeting of the Planning and Zoning Commission made by Commissioner Thurlby. Seconded by Commissioner Weaver. Roll Call Vote. None Opposed, Motion Carried.

6. Review and Recommendation – Final Plat of Subdivision: Mallard Senior Apartments filed by Mallard Point Acquisition LLC at the site to the north of the NWC of W Drake Drive and S Plainview Drive to allow for the development of a 40-unit, three-story senior housing development for seniors 55 years and older. Additionally, to subdivide 2.52 acres from the 6.36 acres of the 40-unit development for future potential development.

Scott McMaster presented the staff report.

Commissioner Ciarlette asked about the barrier between the apartments and the residential area. Tom Durkin, Village Administrator, said this is included in the landscape plan.

Motion to recommend that the Village Board approve the Final Plat of Subdivision: Mallard Senior Apartments filed by Mallard Point Acquisition LLC at the site to the north of the NWC of W Drake Drive and S Plainview Drive to allow for the development of a 40-unit, three-story senior housing development for seniors 55 years and older. Additionally, to subdivide 2.52 acres from the 6.36 acres of the 40-unit development for future potential development subject to staff review and approval of final engineering made by Commissioner Weaver. Seconded by Commissioner Madding. All Ayes, Motion Carried.

Blackburn: This will go to the Village Board at their next meeting on Monday, April 20, 2026.

7. Review and Recommendation – Final Site Plan: Multi-tenant retail center anchored by Dunkin Filed by Meghamilan LLC on 1.6 acres at the northwest corner of S. Frontage Road and W. Eames Street.

Scott McMaster presented the staff report.

Dave Riando, Dunkin’s representative, said this layout is the same as the owners other Dunkin in Streator.

McMaster said the plans are in review with Strand Engineering.

Commissioner Thurlby said he likes the Frontage Road entrance and exits from the property better than using Route 6.

McMaster said turning right on Route 6 from the property will be allowed.

Durkin said this will go to the Village Board’s May 4, 2026 meeting not the next meeting on Monday, April 20, 2026.

Motion to recommend that the Village Board approve the Final Site Plan to allow for this development subject to meeting the landscape requirements and engineering approval made by Commissioner Ciarlette. Seconded by Commissioner Weaver. All Ayes, Motion Carried.

8. Review and Comment – Official Zoning Map 2026: Annual Adoption

McMaster said Premier Trailer has been added to the map.

Motion to recommending the Village Board approve the annual zoning map adoption made by Commissioner Thurlby. Seconded by Commissioner Ciarlette. All Ayes, Motion Carried.

ADJOURNMENT

Motion to adjourn made by Commissioner Thurlby. Seconded by Commissioner Ciarlette. All Ayes, Motion Carried. 6:35 p.m.

Submitted by
Mary Jane Larson, Inspection Coordinator

FROM: Scott R. McMaster, Director of Community Development
DATE: May 4, 2026
SUBJECT: Rezoning and Special Use Permit – Tasty Bite/Carroll Speed Development
FOR AGENDA: May 11, 2026

SUMMARY

M+S Commercial Investments is seeking approval to rezone two properties, along with Special Use Permits to accommodate proposed developments.

- 24710 W Eames (PIN: 04-10-09-302-007): This site is currently vacant, previously occupied by a car wash, and zoned C-1. The applicant is requesting rezoning to C-2 (General Commercial) along with a Special Use Permit to allow for a drive-through. The proposed development is a 1,875-square-foot Tasty Bite drive-through restaurant.
- 24740 W Eames (PIN: 04-10-09-302-006): This property is also vacant and presently zoned C-1. The applicant is requesting rezoning to C-2, in addition to a Special Use Permit to allow for a 12,000-square-foot retail building and a 10,200-square-foot ancillary building intended for a specialty car detailing operation that would complement the Carroll Speed retail use.

The requested zoning is intended to align the zoning classification of both properties with the proposed commercial uses. The Special Use Permits are requested to ensure appropriate oversight and control of these specific uses, as well as any potential future or ancillary uses, particularly in the event that the proposed developments do not proceed or are vacated in the future.

GENERAL INFORMATION

APPLICANT: M+S Commercial Investments
LOCATION: 24710 W Eames and 24740 W Eames (Route 6 and Roberts Ave)
PIN: 04-10-09-302-007 & 04-10-09-302-006
SIZE: .44 acres and 3.61 acres respectively
EXISTING ZONING: C-1

ADJACENT ZONING & LAND USE:

Direction	Zoning	Jurisdiction	Use
North	R-2 Single Family Residence	Village	Residential
West	R-1 Single Family Residence	Village	Channahon Public School
South	C-2 General Business	Village	Mallory Plaza
East	R-1 Single Family Residence	Village	Residential

Zoning Map



Location Map



RELEVANT PLAN(S)

COMPREHENSIVE PLAN DESIGNATION: Commercial

APPLICATION REQUEST(S)

- Approval of Rezoning and Special Use Permit

BACKGROUND INFORMATION

PUBLIC NOTICE SUMMARY

All public notices were posted and sent within the required timeframe by ordinance.

STAFF COMMENTS AND CONDITIONS

- Any recommendation of approval should include the condition of staff review and approval of final engineering.

STANDARDS

Standards for Review of a Special Use Permit Request:

Per Municipal Code section 156.199(E) no special use permit may be granted unless the request meets the following standards:

- (a) The proposed use is designated by this chapter as a special use in the district in which the use is to be located.
- (b) The proposed use will comply with all applicable regulations in the district in which the use is to be located.
- (c) The location and size of the proposed use, the nature and intensity of the operation involved in or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.
- (d) The location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping on the site are such that the use will not unreasonably hinder or discourage the appropriate development and use of adjacent land and buildings.
- (e) Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining uses, and the entrance and exit drives will be laid out so as to prevent traffic hazards and nuisances.
- (f) The proposed use will not cause substantial injury to the value of other property in the neighborhood.
- (g) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

SUPPORTING DOCUMENTS

- Site Plans
- Landscape Plans
- Elevations

ACTION REQUESTED OF THE COMMISSION

- Review and make a Recommendation including Findings of Fact to the Village Board regarding the application for final plat.

Suggested Motion – Motion to recommend that the Village Board approve the rezoning and Special Use Permits.

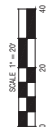
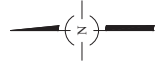
NO.	DATE	REMARKS

NO.	DATE	REMARKS

GEOMETRIC PLAN
TASTY BITE
CHannah, ILLINOIS

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

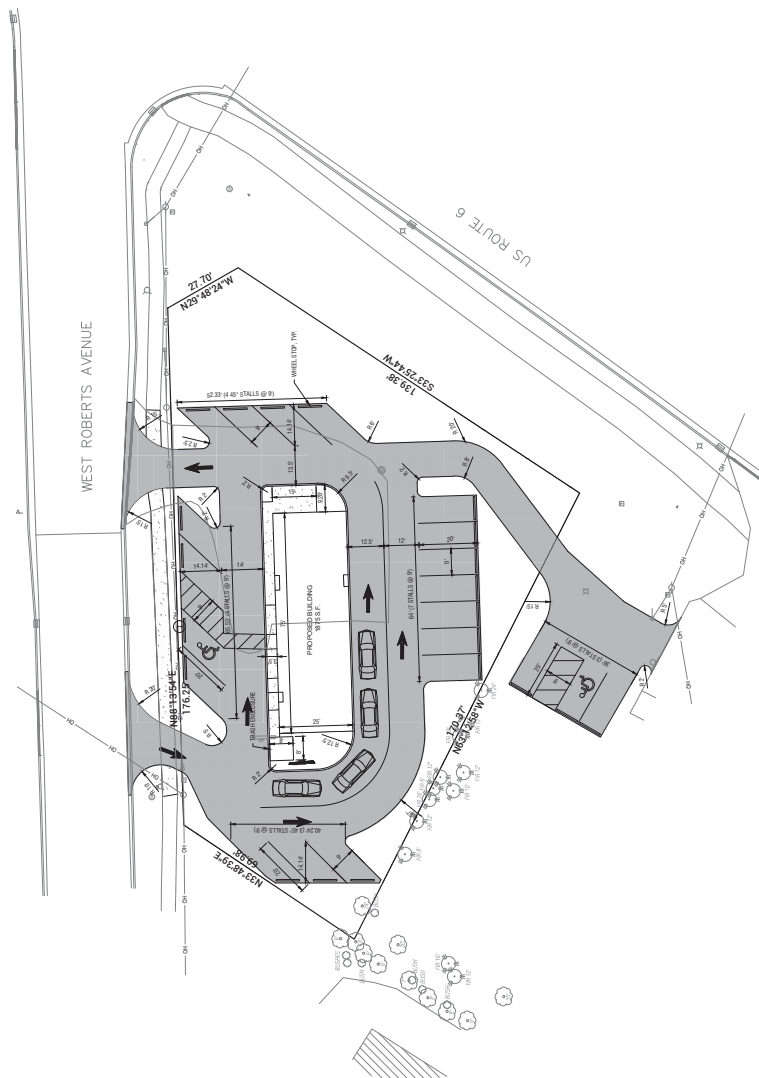
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DATE	4/2/16
JOB NO.	1715-04
SHEET	GM
5	OF 12

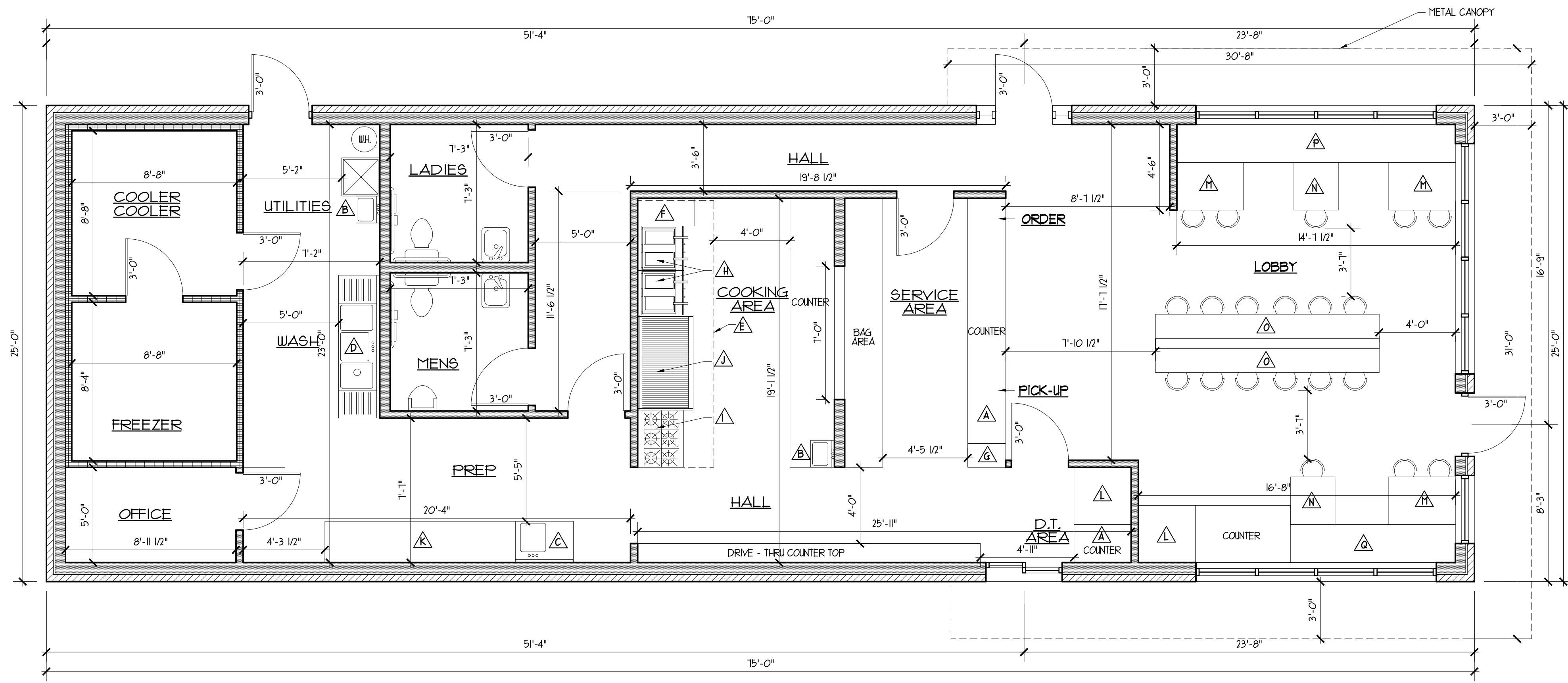


- NOTES:**
1. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. SEE SHEET ON FOR PAVEMENT SECTION DETAILS.
 3. ALL PAVEMENT MARKINGS SHALL BE PAINT.
 4. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS REGULATIONS.
 5. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS.

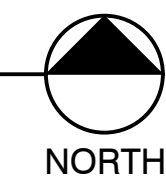
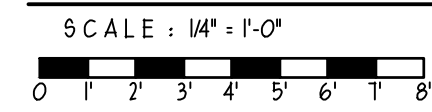
- LEGEND:**
- ASPHALT PAVEMENT
 - CONCRETE SIDEWALK

- SIGN LEGEND:**
- RESERVED PARKING
 - ONE WAY
 - STOP
 - YIELD
 - R7-8





PROPOSED FIRST FLOOR PLAN

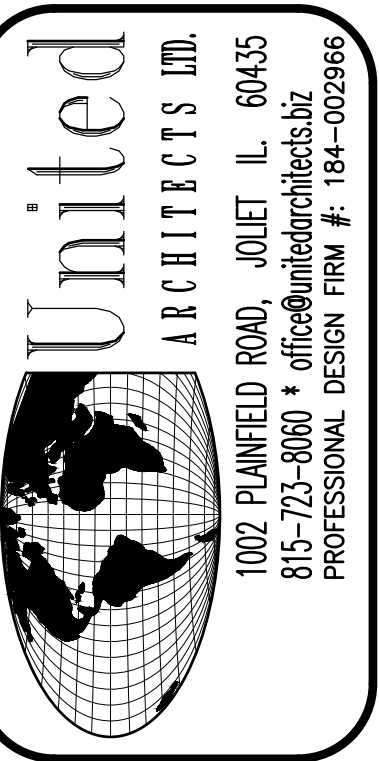


EQUIPMENT SCHEDULE
(ALL EQUIPMENT SHALL BE NSF APPROVED)

- △ POS SYSTEM
- △ 1'-6" W x 1'-6" L STAINLESS STEEL HAND SINK W/ BRIST BLADE FAUCET HANDLES
- △ 3'-0" W x 2'-2" L S.S. PREP SINK BY TABCO
- △ 30" X 2'-0" TRIPLE COMPARTMENT SINK W/ 2 DRAIN BOARDS
- △ 4'-0" W x 4'-0" L HOOD
- △ 3'-0" W x 1'-4" L GREASE DUMP
- △ 2'-0" W x 1'-3" L ICE MACHINE
- △ (4) 2'-5" W x 2'-5" L FRYER VATS
- △ 2'-5" W x 3'-0" L 6 BURNER STOVE
- △ 3'-0" W x 5'-0" L CHARBROILER
- △ 2'-2" W x 10'-0" L PREP TABLE
- △ 3'-0" W x 3'-0" L SODA MACHINE
- △ 3'-0" W x 3'-6" L TABLE
- △ 3'-0" W x 2'-4" L TABLE
- △ 1'-3" W x 11'-9" L ISLAND
- △ 2'-0" W x 4'-1 1/4" L BENCH
- △ 2'-0" W x 8'-8" L BENCH

UNITED ARCHITECTS RESERVE COPYRIGHT AND OTHER RIGHTS RESTRICTING THESE DRAWINGS FOR THE ORIGINAL SITE OR PURPOSE FOR WHICH THEY WERE PREPARED. REPRODUCTIONS, CHANGES OR OTHER ASSIGNMENTS ARE PROHIBITED. © 2026

ISSUED FOR OWNER'S REVIEW JANUARY 30, 2026



REVISION NO.	DATE	REMARKS

PROPOSED RESTAURANT
FOR : TASTY BITES
24710 W. EAMES ST. CHANNAHON, IL

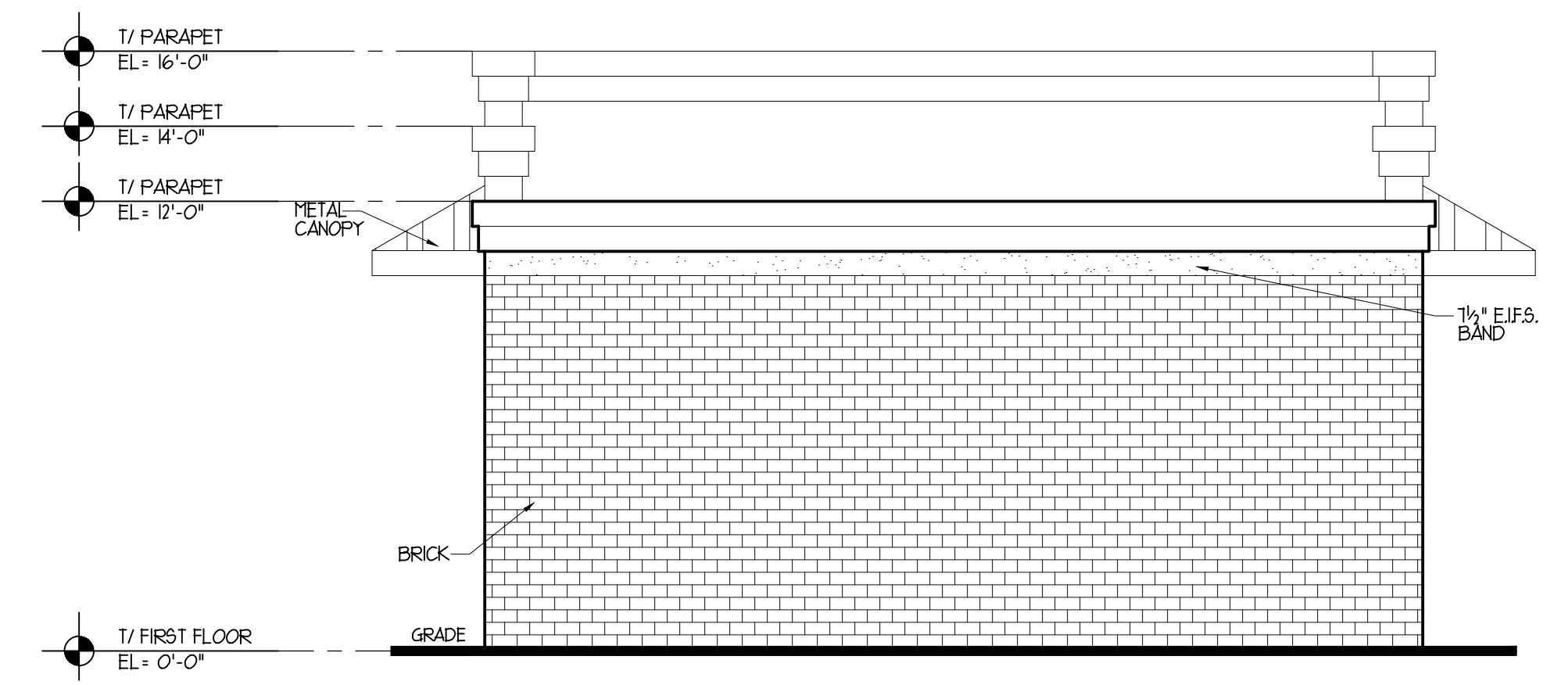
DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE : JANUARY 30, 2026
PROJECT NO: 26-AI
TITLE: PROPOSED FLOOR PLAN

SHEET
A-1



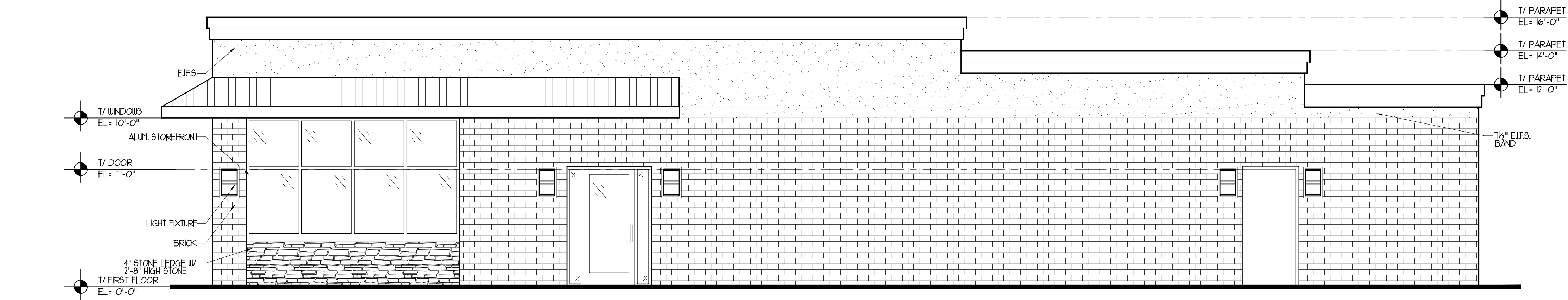
PROPOSED EAST ELEVATION

SCALE : 1/4" = 1'-0"
 0 1 2 3 4 5 6 7 8



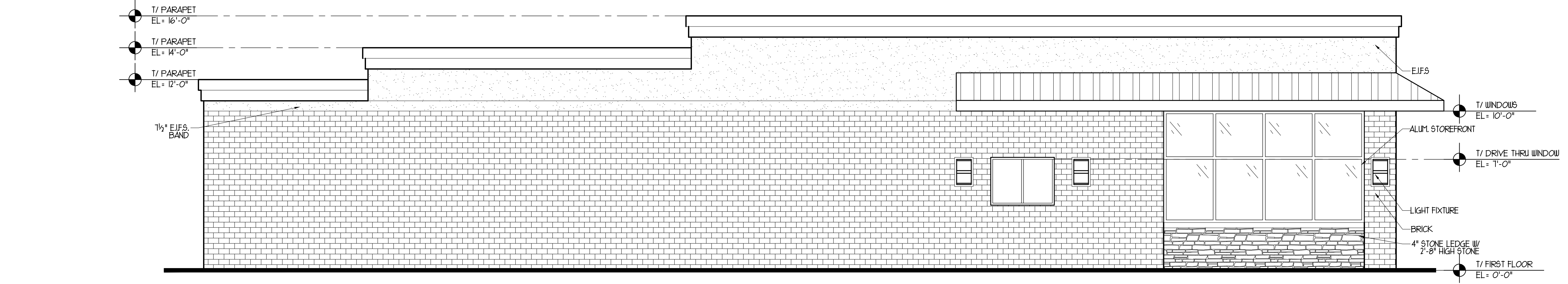
PROPOSED WEST ELEVATION

SCALE : 1/4" = 1'-0"
 0 1 2 3 4 5 6 7 8



PROPOSED NORTH ELEVATION

SCALE : 1/4" = 1'-0"
 0 1 2 3 4 5 6 7 8



PROPOSED SOUTH ELEVATION

SCALE : 1/4" = 1'-0"
 0 1 2 3 4 5 6 7 8

ISSUED FOR OWNER'S REVIEW JANUARY 30, 2026

REVISION NO.	DATE	REMARKS

PROPOSED RESTAURANT
 FOR : TASTY BITES
 24710 W. EAMES ST. CHANNAHON, IL

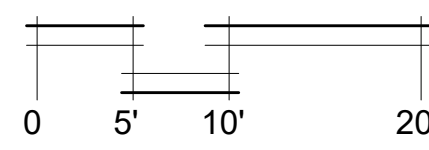
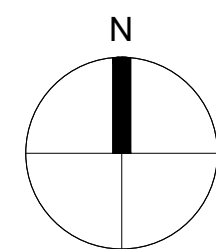
DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE : JANUARY 30, 2026
PROJECT NO: 26-AI
TITLE: PROPOSED ELEVATIONS

SHEET A-2

UNITED ARCHITECTS RESERVE COPYRIGHT AND OTHER RIGHTS RESTRICTING THESE DRAWINGS FOR THE ORIGINAL SITE OR PURPOSE FOR WHICH THEY WERE PREPARED. REPRODUCTIONS CHANGES OR OTHER ASSIGNMENTS ARE PROHIBITED. © 2026

LANDSCAPE PLAN

SCALE: 1" = 10'-0"

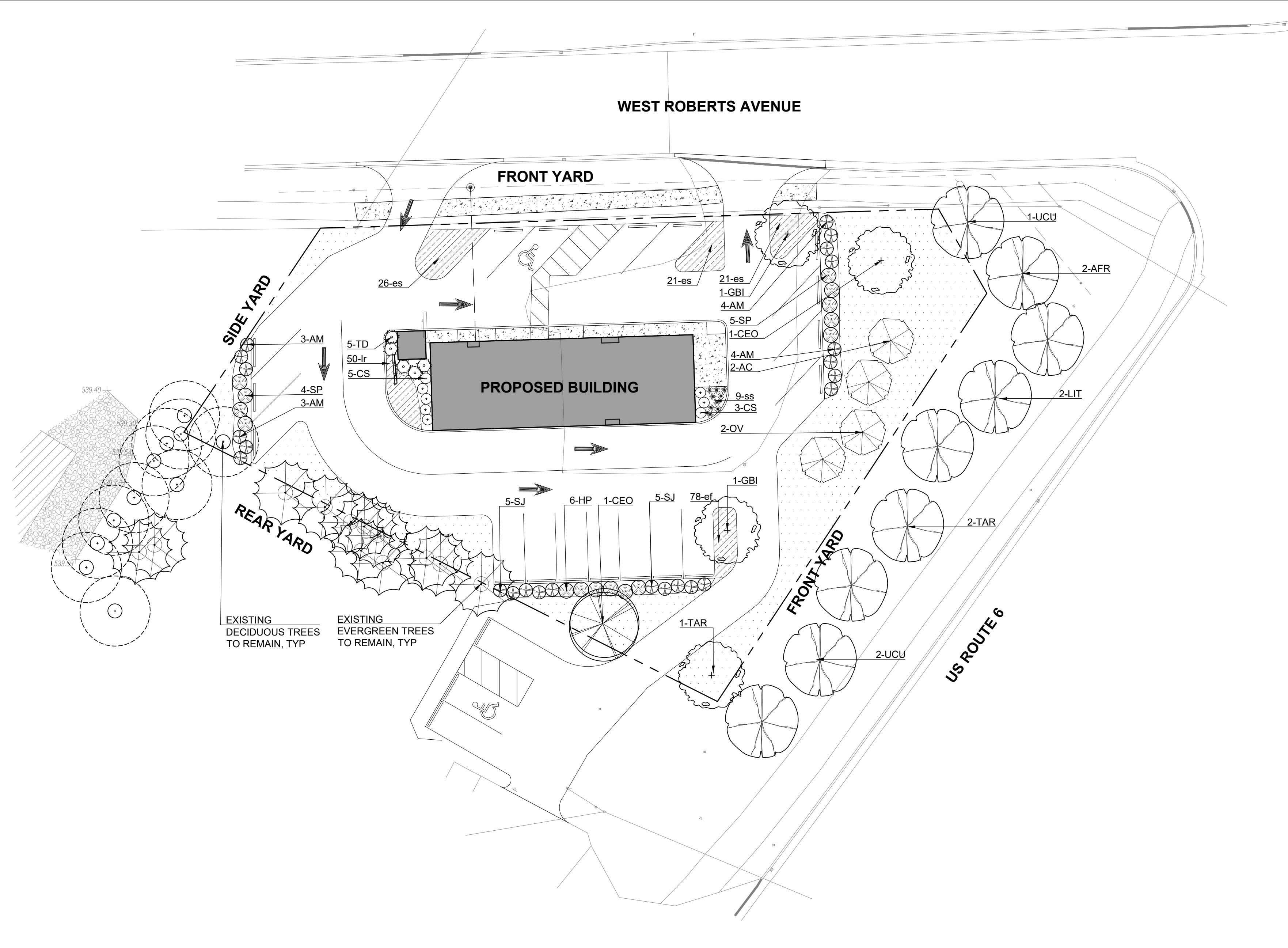


Village of Channahon Ordinance			
Landscape requirement Summary			
	Required	Existing/Proposed	
Parkway Plantings	343 LF		
Street Trees	1:40 LF	9	9
Front Yard Perimeter Planting - Roberts Avenue and U.S. Route 6	343 LF		
Green Space	30% of setback	2,058 SF	3,596 SF
Plant Units	80 units min.	80	93
Side & Rear Perimeter Planting - South and West	240 LF		
10' Landscaped Area - Plant Units	40 units min.	40	62
Drive Thru Lane	144 LF		
5' wide curbed planting bed		144 LF	0
Plant Units	100:100 LF	144 LF	0
Interior Parking Lot (SF)			
No interior planting required for less than 20 parking spaces			

Landscape point calc (Front)	Total
4 Shade	40
0 Evergreen (10'+ ht)	0
0 Evergreen (6-9' ht)	0
4 Ornamental	20
15 Lg Shrub	30
0 Sm shrub	0
Perennials & Groundcover (SF)	
500 (per 100 SF of area)	2.5
	92.5

Landscape point calc (Rear)	Total
1 Shade	10
0 Evergreen (10'+ ht)	0
0 Evergreen (6-9' ht)	0
0 Ornamental	0
26 Lg Shrub	52
0 Sm shrub	0
Groundcover (SF)	
0 (per 100 SF of area)	0
	62

Master Plant List						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
Shade Trees						
AFR	2	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB		
CEO	2	CELTUS OCCIDENTALIS	HACKBERRY	3" BB	NATIVE	
GBI	2	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	3" BB		MALE SPEC. ONLY
LIT	2	LIRIODENDRON TULIPIFERA	TULIPTREE	3" BB	NATIVE	
TAR	3	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	NATIVAR	
UCU	3	ULMUS x 'MORTON'	ACCOLADE ELM	3" BB		
Ornamental Trees						
AC	2	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6" BB	NATIVE	
OV	2	OSTRYA VIRGINIANA	IRONWOOD	8" BB	NATIVE	
Evergreen Shrubs						
TD	5	TAXUS x MEDIA 'DENSIFORMIS'	DENSE YEW	24" BB		SPREADING
Deciduous Shrubs						
AM	14	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY BLACK CHOKEBERRY	5 GAL	NATIVAR	
CS	8	CORNUS STOLONIFERA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	NATIVAR	
DL	8	DIERVILLA LONICERA	DWARF BUSH-HONEYSUCKLE	3 GAL	NATIVE	
HP	6	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB		
SJ	10	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24" BB		
SP	9	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	24" BB		
Groundcover						
ef	78	ELIOMYOUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		
es	68	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	3" POTS	NATIVE	
lr	50	LIRIOPE SPICATA	CREEPING LILYTURF	3" POTS		
Grasses						
ss	9	SCHIZACHYRIUM SCOPARUM 'PRAIRIE BLUES'	LITTLE BLUESTEM	1 GAL	NATIVAR	



GENERAL CONSTRUCTION NOTES

- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL PARKING LOT ISLANDS SHALL BE BACKFILLED WITH THE FOLLOWING: 2" OF BLENDED GARDEN SOIL MIX (60% TOPSOIL, 30% COMPOST, 10% SAND) OR 6" OF ONE STEP BY MIDWEST TRADING, TOP DRESSED AND TILLED INTO 18" OF TOPSOIL.
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET. UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, EXCLUDING SHRUB BEDS, TO BE RESTORED WITH TURF GRASS SEED AND COVERED WITH AN EROSION CONTROL BLANKET.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

Kathryn Talty
landscape architecture
1926 Maulegan Road | Suite 340
Clentview, Illinois 60025
c 847.672.5154 | www.ktlandarch.com



initial date
DSP 04-24-26

no.	revision	description
	ISSUED FOR REVIEW	

TASTY BITE
CHannahon, ILLINOIS

**OVERALL LANDSCAPE PLAN
LANDSCAPE REQUIREMENTS**
CONSTRUCTION NOTES

date: 04-23-26
drawn: DSP
checked: KMT

job no.
26240

sheet no.
L1.0

LANDSCAPE MAINTENANCE SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT. LANDSCAPING, THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.

STANDARDS
 ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES.
 ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.
 ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS, USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.

APPROVALS
 ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE.
 ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION.

SOIL TESTING
 THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY ANY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.

ACCEPTABLE SOIL TEST RESULTS:

	LANDSCAPE TREES & SHRUBS	TURF
PH RANGE	5.0-7.0	6.0-7.0
ORGANIC MATTER	>1.5%	>2.5%
MAGNESIUM (MG)	100+LBS./ACRE	100+LBS./ACRE
PHOSPHORUS (P2O5)	150+LBS./ACRE	150+LBS./ACRE
POTASSIUM (K2O)	120+LBS./ACRE	120+LBS./ACRE
SOLUBLE SALTS	NOT TO EXCEED 900PPM/1.9 MMHOS/CM IN SOIL, NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX	NOT TO EXCEED 750PPM/0.75 MMHOS/CM IN SOIL, NOT TO EXCEED 2000 PPM/2.0 MMHOS/CM IN HIGH ORGANIC MIX

FOR UNUSUAL SOIL CONDITIONS, THE FOLLOWING OPTIONAL TESTS ARE RECOMMENDED WITH LEVELS NOT TO EXCEED:

BORON	3 POUNDS PER ACRE
MANGANESE	50 POUNDS PER ACRE
POTASSIUM (K2O)	450 POUNDS PER ACRE
SODIUM	20 POUNDS PER ACRE

WORKMANSHIP
 DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. ANY DAMAGE TO THE LANDSCAPE, STRUCTURES, OR IRRIGATION SYSTEMS CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

TURF

GENERAL CLEAN UP
 PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.

MOWING
 TURF GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL. FROM JUNE THROUGH SEPTEMBER, MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 3".

THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: MECHANICAL WEEDERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.

EDGING
 EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEP CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.

FERTILIZING
 SEASONALLY STEPPED FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.

LAWN WEED CONTROL: HERBICIDES
 SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.

INSECT & DISEASE CONTROL FOR TURF
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICE'S 'COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF' FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.

INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.

TREES, SHRUBS, & GROUND COVER

PRUNING
 ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES. DEVELOP THE NATURAL SHAPES. DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.

- PRUNING GUIDELINES:
- PRUNE PLANTS THAT FLOWER BEFORE THE END OF JUNE (SPRING BLOOMING) IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.
 - PRUNE PLANTS THAT FLOWER IN JULY - SEPTEMBER (SUMMER OR AUTUMN BLOOMING) IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS, SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.
 - DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS AND VIBURNUMS.
 - HOLLIES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER, IN ORDER TO USE THEIR BRANCHES FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.
 - BROADLEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.
 - HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE FIRST SHEARING OF THE SEASON.
 - CONIFERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.
 - YEW, JUNIPERS, HEMLOCKS AND ARBORVITAE MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.
 - FIRS AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.
 - PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.
 - GROUND COVER SHALL BE EDGED AND PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.
 - THINNING: REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON CRAB APPLES, LILACS, VIBURNUMS, ETC.
 - RENEWAL PRUNING: REMOVE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. ALSO REMOVE WEAK STEMS. ON OVERGROWN PLANTS, THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON FORSYTHIA, HYDRANGEA, SPIRAEA, ETC.

PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.
 SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.

SPRING CLEANUP
 PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.

FERTILIZING
 FOR TREES, THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWTH STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS; YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.

THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET. FOR NARROW-LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET. FOR BROADLEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 1000 SQUARE FEET.

SHRUBS AND GROUND COVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP OR FERTILIZED ONCE IN MARCH WITH 10-6-4 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA. ERICACEOUS MATERIAL SHALL BE FERTILIZED WITH AN ERICACEOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.

TREES, SHRUBS, & GROUND COVER (CONT.)

MULCHING
 ANNUALLY, ALL TREE AND SHRUB BEDS WILL BE PREPARED AND MULCHED. TO A MINIMUM DEPTH OF 3" WITH QUALITY MULCH TO MATCH EXISTING. BED PREPARATION SHALL INCLUDE REMOVING ALL WEEDS, CLEANING UP SAID BED, EDGING AND CULTIVATING DECAYED MULCH INTO THE SOIL. DEBRIS FROM EDGING IS TO BE REMOVED FROM BEDS WHERE APPLICABLE. IF DEEMED NECESSARY, A PRE-EMERGENT HERBICIDE MAY BE APPLIED TO THE SOIL TO INHIBIT THE GROWTH OF FUTURE WEEDS.

ORGANICALLY MAINTAINED GARDENS SHALL NOT RECEIVE ANY PRE-EMERGENT HERBICIDES. MULCH IN EXCESS OF 4" WILL BE REMOVED FROM THE BED AREAS. SPECIAL CARE SHALL BE TAKEN IN THE MULCHING OPERATION NOT TO OVER-MULCH OR COVER THE BASE OF TREES AND SHRUBS. THIS CAN BE DETRIMENTAL TO THE HEALTH OF THE PLANTS.

WEEDING
 ALL BEDS SHALL BE WEEDED ON A CONTINUOUS BASIS THROUGHOUT THE GROWING SEASON TO MAINTAIN A NEAT APPEARANCE AT ALL TIMES.
 PRE-EMERGENT (SOIL-APPLIED) AND POST-EMERGENT (FOLIAR-APPLIED) HERBICIDES SHALL BE USED WHERE AND WHEN APPLICABLE AND IN ACCORDANCE WITH THE PRODUCT'S LABEL.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND COVER
 THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE LANDSCAPE SITE ON A REGULAR BASIS. THE MONITORING FREQUENCY SHALL BE MONTHLY EXCEPT FOR GROWING SEASON, WHICH WILL BE EVERY OTHER WEEK. TRAINED PERSONNEL SHALL MONITOR FOR PLANT DAMAGING INSECT ACTIVITY, PLANT PATHOGENIC DISEASES AND POTENTIAL CULTURAL PROBLEMS IN THE LANDSCAPE. THE PEST OR CULTURAL PROBLEM WILL BE IDENTIFIED UNDER THE SUPERVISION OF THE CONTRACTOR.

FOR PLANT DAMAGING INSECTS AND MITES IDENTIFIED IN THE LANDSCAPE, THE CONTRACTOR SHALL CONSULT AND FOLLOW THE RECOMMENDATIONS OF THE MOST CURRENT EDITION OF THE STATE COOPERATIVE SERVICE PUBLICATION ON INSECT CONTROL ON LANDSCAPE PLANT MATERIAL.

PLANT PATHOGENIC DISEASE PROBLEMS IDENTIFIED BY THE CONTRACTOR THAT CAN BE RESOLVED BY PRUNING OR PHYSICAL REMOVAL OF DAMAGED PLANT PARTS WILL BE PERFORMED AS PART OF THE CONTRACT. FOR AN ADDITIONAL CHARGE, PLANT PATHOGENIC DISEASES THAT CAN BE RESOLVED THROUGH PROPERLY TIMED APPLICATIONS OF FUNGICIDES SHALL BE MADE WHEN THE OWNER AUTHORIZES IT.

IF THE CONTRACTOR NOTES AN ESPECIALLY INSECT-OR DISEASE-PRONE PLANT SPECIES IN THE LANDSCAPE, HE/SHE WILL SUGGEST REPLACEMENT WITH A MORE PEST-RESISTANT CULTIVAR OR SPECIES THAT IS CONSISTENT WITH THE INTENT OF THE LANDSCAPE DESIGN.

NOTE: FOR IDENTIFICATION OF PLANT-DAMAGING INSECTS AND MITES, A REFERENCE TEXTBOOK THAT CAN BE USED IS INSECTS THAT FEED ON TREES AND SHRUBS BY JOHNSON AND LYON, COMSTOCK PUBLISHING ASSOCIATES. FOR PLANT PATHOGENIC DISEASES, TWO REFERENCES ARE SUGGESTED: SCOUTING AND CONTROLLING WOODY ORNAMENTAL DISEASES IN LANDSCAPES AND NURSERIES, AUTHORIZED BY GARY MOORMAN, PUBLISHED BY PENN STATE COLLEGE OF AGRICULTURAL SCIENCES, AND DISEASES OF TREES AND SHRUBS BY SINCLAIR AND LYON, PUBLISHED BY COMSTOCK PUBLISHING PRESS.

TRASH REMOVAL
 THE MAINTENANCE CONTRACTOR SHALL REMOVE TRASH FROM ALL SHRUB AND GROUND COVER BEDS WITH EACH VISIT.

LEAF REMOVAL
 ALL FALLEN LEAVES SHALL BE REMOVED FROM THE SITE IN NOVEMBER AND ONCE IN DECEMBER. IF REQUESTED BY THE OWNER, THE MAINTENANCE CONTRACTOR, AT AN ADDITIONAL COST TO THE OWNER SHALL PERFORM SUPPLEMENTAL LEAF REMOVALS.

WINTER CLEAN-UP
 THE PROJECT SHALL RECEIVE A GENERAL CLEAN-UP ONCE DURING EACH OF THE WINTER MONTHS, I.E., JANUARY, FEBRUARY, AND MARCH.

- CLEAN-UP INCLUDES:
- CLEANING CURBS AND PARKING AREAS
 - REMOVING ALL TRASH AND UNWANTED DEBRIS
 - TURNING MULCH WHERE NECESSARY
 - INSPECTION OF GROUNDS

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

THE INSTALLATION OF PERENNIALS, ANNUALS, AND BULBS, UNLESS SPECIFIED HEREIN, SHALL BE REVIEWED WITH THE OWNER, AND, IF ACCEPTED, INSTALLED AND BILLED TO THE OWNER.

- SEASONAL COLOR MAINTENANCE**
 PERENNIALIZATION OF BULBS:
- AFTER FLOWERING, CUT OFF SPENT FLOWER HEADS.
 - ALLOW LEAVES OF DAFFODILS AND HYACINTHS TO REMAIN FOR SIX WEEKS AFTER FLOWERS HAVE FADED. CUT OFF AT BASE.
 - ALLOW LEAVES OF OTHER BULBS TO YELLOW NATURALLY AND THEN CUT OFF AT BASE.
 - APPLY FERTILIZER AFTER FLOWERING IN SPRING, POSSIBLY AGAIN IN FALL. APPLY 10-10-10 AT THE RATE OF 2 POUNDS PER 1000 SQUARE FEET OR TOP-DRESS WITH COMPOST 1" DEEP. FALL FERTILIZATION WITH A BULB FERTILIZER OR MULCHING WITH 1" OF COMPOST IS OPTIONAL.

- FLOWER ROTATION:**
- BULBS: REMOVE THE ENTIRE PLANT AND BULB AFTER FLOWERS HAVE FADED OR AT THE DIRECTION OF THE OWNER AND INSTALL NEW PLANTS IF INCLUDED IN CONTRACT.
 - DEAD HEADING: PINCH AND REMOVE DEAD FLOWERS ON ANNUALS AS NECESSARY.
 - FERTILIZING SUMMER ANNUALS: FERTILIZE USING ONE OR TWO METHODS: APPLY A SLOW-RELEASE FERTILIZER IN MAY FOLLOWING MANUFACTURER'S RECOMMENDATIONS. A BOOSTER SUCH AS 10-10-10 MAY BE NECESSARY IN LATE SUMMER. OR, APPLY LIQUID FERTILIZATIONS OF 20-20-20 WATER-SOLUBLE FERTILIZERS, NOT TO EXCEED 2 POUNDS OF 20-20-20 PER 100 GALLONS OF WATER, MONTHLY, OR MULCH WITH COMPOST 1" DEEP.
 - REMOVAL: IF FALL PLANTS ARE TO BE INSTALLED, SUMMER ANNUALS SHALL BE LEFT IN THE GROUND UNTIL THE FIRST KILLING FROST AND THEN REMOVED, UNLESS OTHERWISE DIRECTED BY THE OWNER.

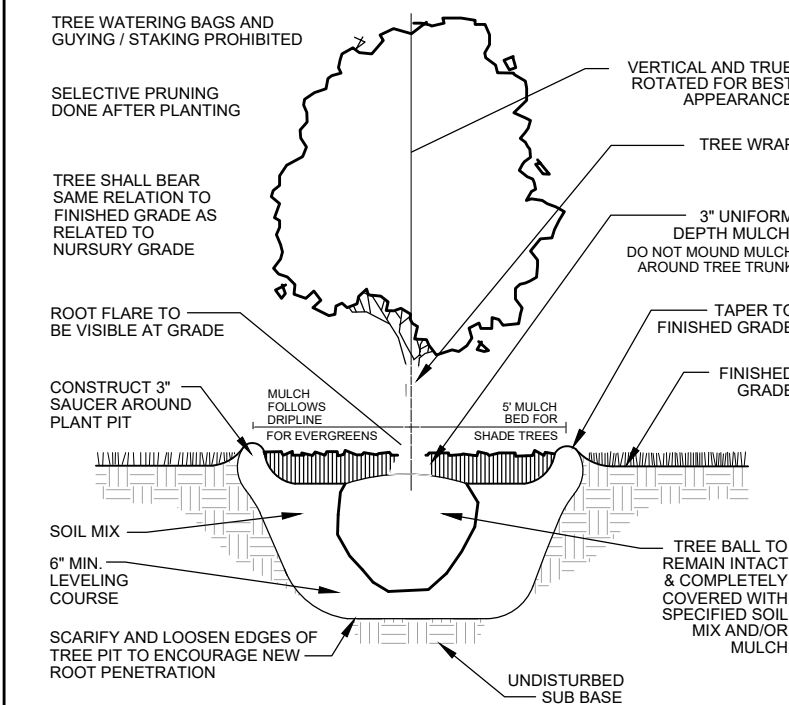
- PERENNIALS:**
- AFTER INITIAL INSTALLATION, IF A TIME-RELEASED FERTILIZER HAS BEEN INCORPORATED DURING PLANT INSTALLATION, NO MORE FERTILIZER NEED BE APPLIED THE FIRST GROWING SEASON.
 - THE FOLLOWING YEAR:
 - FERTILIZE PERENNIALS WITH A SLOW-RELEASE FERTILIZER OR ANY 50% ORGANIC FERTILIZER, OR MULCH PERENNIALS WITH COMPOST 1" DEEP.
 - CUT ALL DECIDUOUS PERENNIALS FLUSH TO THE GROUND BY MARCH 1. IF THIS WAS NOT DONE THE PREVIOUS FALL, TO ALLOW NEW GROWTH TO DEVELOP FREELY.
 - MULCH THE PERENNIAL BED ONCE IN EARLY SPRING AT 1"-2" DEPTH. IF SOIL IS BARED IN LATE FALL, RE-MULCH LIGHTLY AFTER GROUND IS FROZEN TO PROTECT PERENNIALS.
 - INSPECT FOR INSECT OR DISEASE PROBLEMS ON PERENNIALS. MONITOR AND CONTROL SLUGS ON HOSTAS AND LIGULARIARIS. POWDERY MILDEW ON PHLOX, MONARDAS, AND ASTERS CAN BE PREVENTED WITH PROPERLY TIMED FUNGICIDES OR USE OF DISEASE-RESISTANT VARIETIES.
 - WEED PERENNIAL BED AS SPECIFIED IN "WEEDING" ABOVE.
 - PRUNE BRANCHING SPECIES TO INCREASE DENSITY. CUT ONLY THE FLOWERING STEMS AFTER BLOOMING. DO NOT REMOVE THE FOLIAGE.
 - THE FOLLOWING FALL, CUT BACK DETERIORATING PLANT PARTS UNLESS INSTRUCTED TO RETAIN FOR WINTER INTEREST, E.G. SEDUM AUTUMN JOY AND ORNAMENTAL GRASSES.
 - LONG-TERM CARE:
 - DIVIDE PLANTS THAT OVERCROWD THE SPACE PROVIDED. DIVIDE ACCORDING TO THE SPECIES. SOME NEED FREQUENT DIVIDING, E.G. ASTERS AND YARROW EVERY TWO YEARS; OTHER RARELY, IF EVER, E.G. PEONIES, HOSTAS, AND ASTILBE.
 - FOR DETAILED INFORMATION REGARDING THE CARE OF SPECIFIC PERENNIALS, REFER TO ALL ABOUT PERENNIALS BY ORTHO; PERENNIALS: HOW TO SELECT, GROW AND ENJOY BY PAMELA HARPER AND FREDERICK MCGOUBY, HP BOOKS PUBLISHER; HERBACEOUS PERENNIAL PLANTS: A TREATISE ON THEIR IDENTIFICATION, CULTURE AND GARDEN ATTRIBUTES BY ALLAN ARMITAGE, STILES PUB LLC.

SUMMARY OF MAINTENANCE

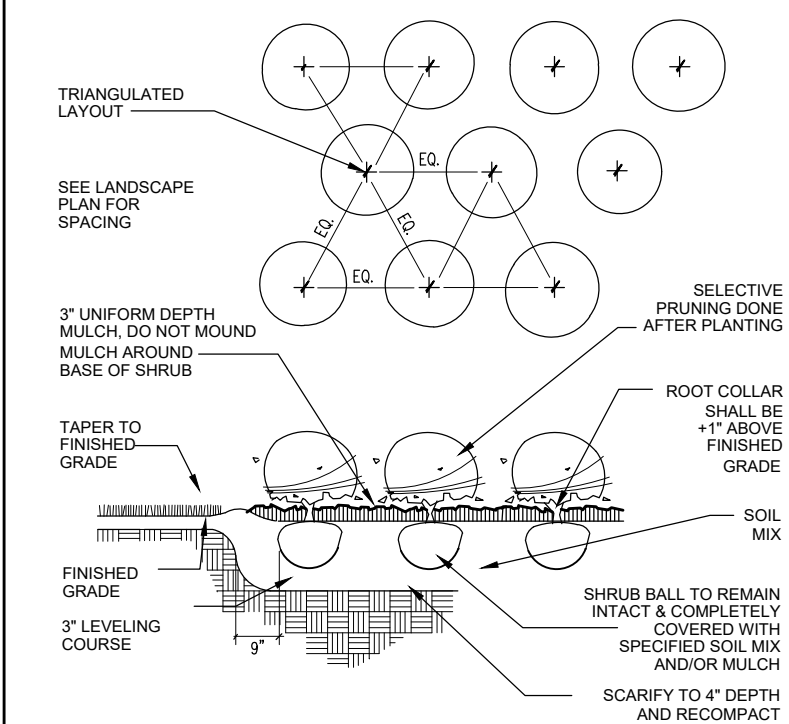
- LAWN MAINTENANCE**
- SOIL ANALYSIS PERFORMED ANNUALLY TO DETERMINE PH. IF PH DOES NOT FALL WITHIN SPECIFIED RANGE, ADJUST ACCORDING TO SOIL TEST RECOMMENDATIONS TO MAINTAIN PH LEVELS OF THE SOIL TO PROVIDE AN ENVIRONMENT CONDUCTIVE TO TURF VITALITY FOR TURF GRASSES.
 - MAINTAIN PROPER FERTILITY AND PH LEVELS OF THE SOIL TO PROVIDE AN ENVIRONMENT CONDUCTIVE TO TURF VITALITY FOR TURF GRASSES.
 - MOW TURF ON A REGULAR BASIS AND AS SEASON AND WEATHER DICTATES. REMOVE NO MORE THAN THE TOP 1/3 OF LEAF BLADE. CLIPPINGS ON PAVED AND BED AREAS WILL BE REMOVED.
 - AERATE WARM SEASON TURF AREAS TO MAINTAIN HIGH STANDARDS OF TURF APPEARANCE.
 - APPLY PRE-EMERGENT TO TURF IN TWO APPLICATIONS IN EARLY FEBRUARY AND EARLY APRIL TO EXTEND BARRIER.
 - APPLY POST EMERGENT AS NEEDED TO CONTROL WEEDS.
 - MECHANICALLY EDGE CURBS AND WALKS.
 - APPLY NON-SELECTIVE HERBICIDE, TO MULCHED BED AREAS AND PAVEMENT AND REMOVE EXCESS RUNNERS TO MAINTAIN CLEAN DEFINED BEDS.

- TREE, GROUND COVER AND SHRUB BED MAINTENANCE**
- PRUNE SHRUBS, TREES AND GROUND COVER TO ENCOURAGE HEALTHY GROWTH AND CREATE A NATURAL APPEARANCE.
 - MULCH TO BE APPLIED IN FEBRUARY/MARCH WITH A HALF RATE IN LATE SUMMER TO TOP DRESS.
 - APPLY PRE-EMERGENT HERBICIDES IN FEBRUARY AND APRIL.
 - MANUAL WEED CONTROL TO MAINTAIN CLEAN BED APPEARANCE.
 - APPLY FUNGICIDES AND INSECTICIDES AS NEEDED TO CONTROL INSECTS AND DISEASE.
 - ORNAMENTAL SHRUBS, TREES AND GROUND COVER TO BE FERTILIZED THREE (3) TIMES PER YEAR WITH A BALANCED MATERIAL (JANUARY/FEBRUARY, APRIL/MAY, AND OCTOBER/NOVEMBER)
 - EDGE ALL MULCHED BEDS.
 - REMOVE ALL LITTER AND DEBRIS.

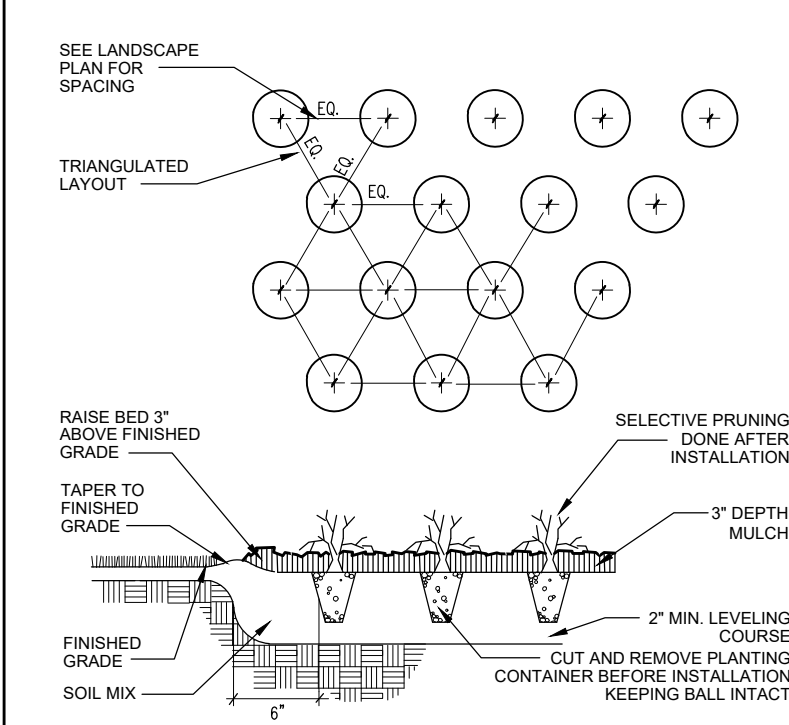
- GENERAL MAINTENANCE**
- REMOVE ALL MAN-MADE DEBRIS, BLOW EDGES.
 - INSPECT GROUNDS ON A MONTHLY BASIS AND SCHEDULE INSPECTION WITH UNIT OPERATOR.



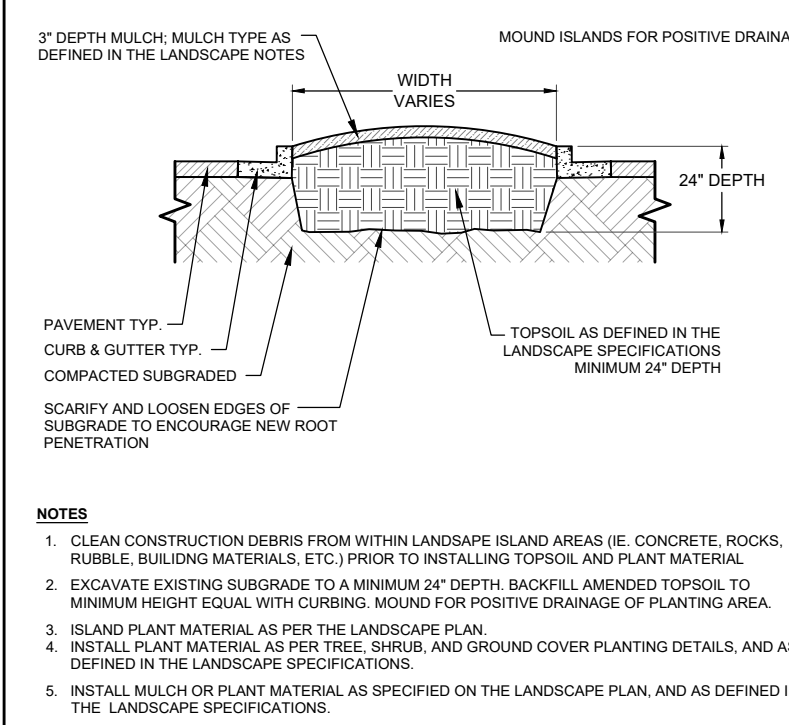
1 TREE PLANTING DETAIL
 L2.0 SCALE: NO SCALE



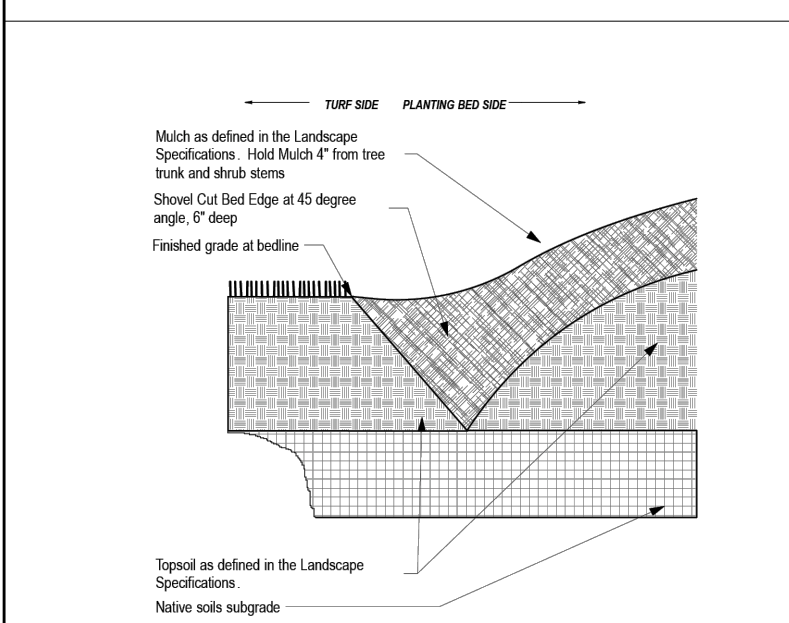
2 SHRUB PLANTING DETAIL
 L2.0 SCALE: NO SCALE



3 GROUND COVER DETAIL
 L2.0 SCALE: NO SCALE

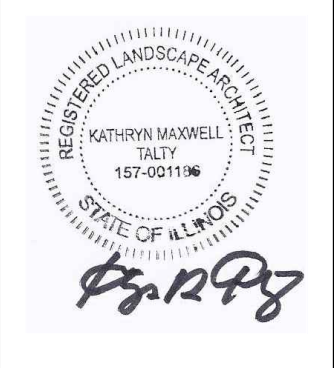


4 PARKING ISLAND DETAIL
 L2.0 SCALE: NO SCALE



5 SPADED PLANTING BED EDGE DETAIL
 L2.0 SCALE: NO SCALE

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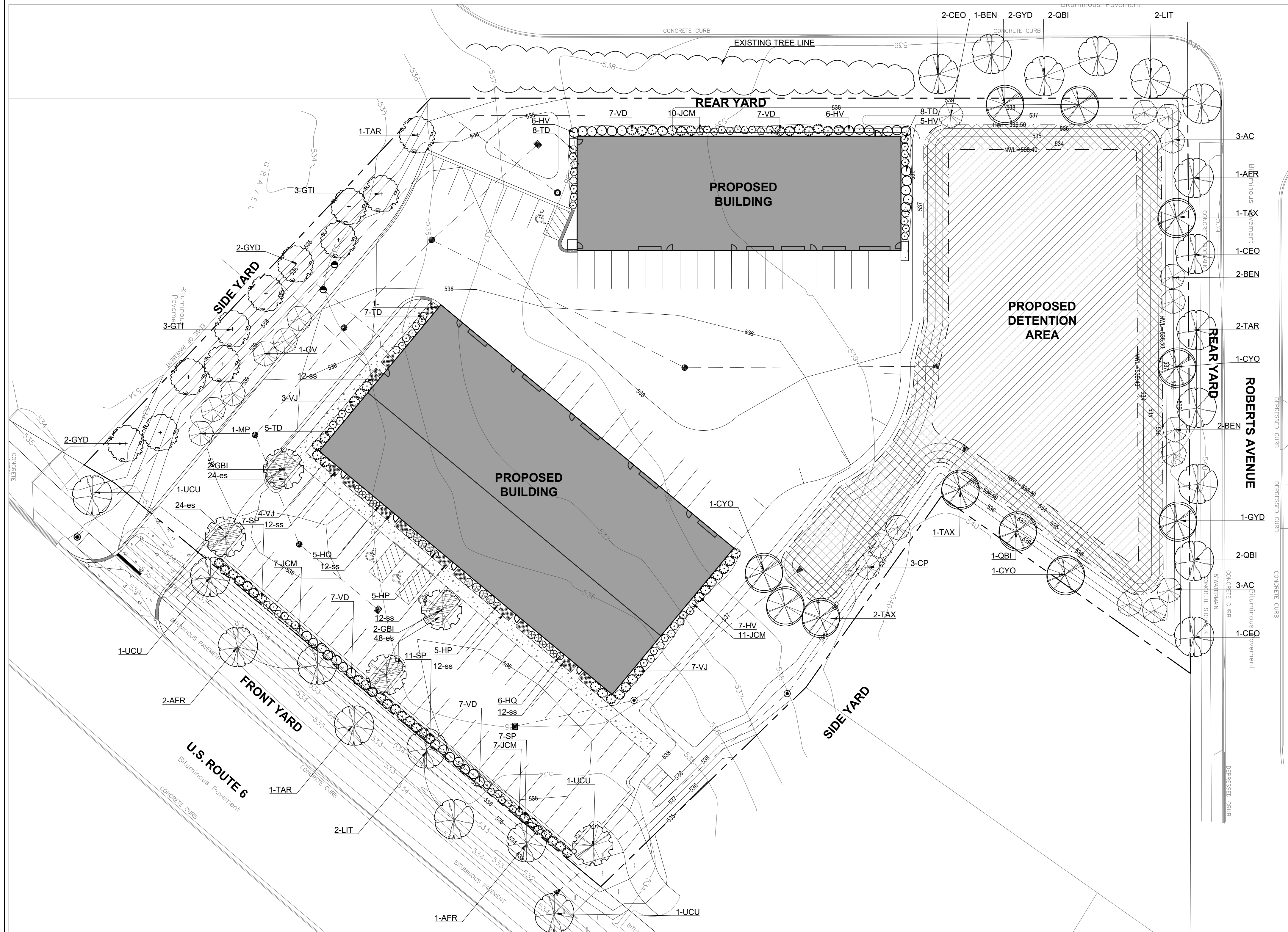
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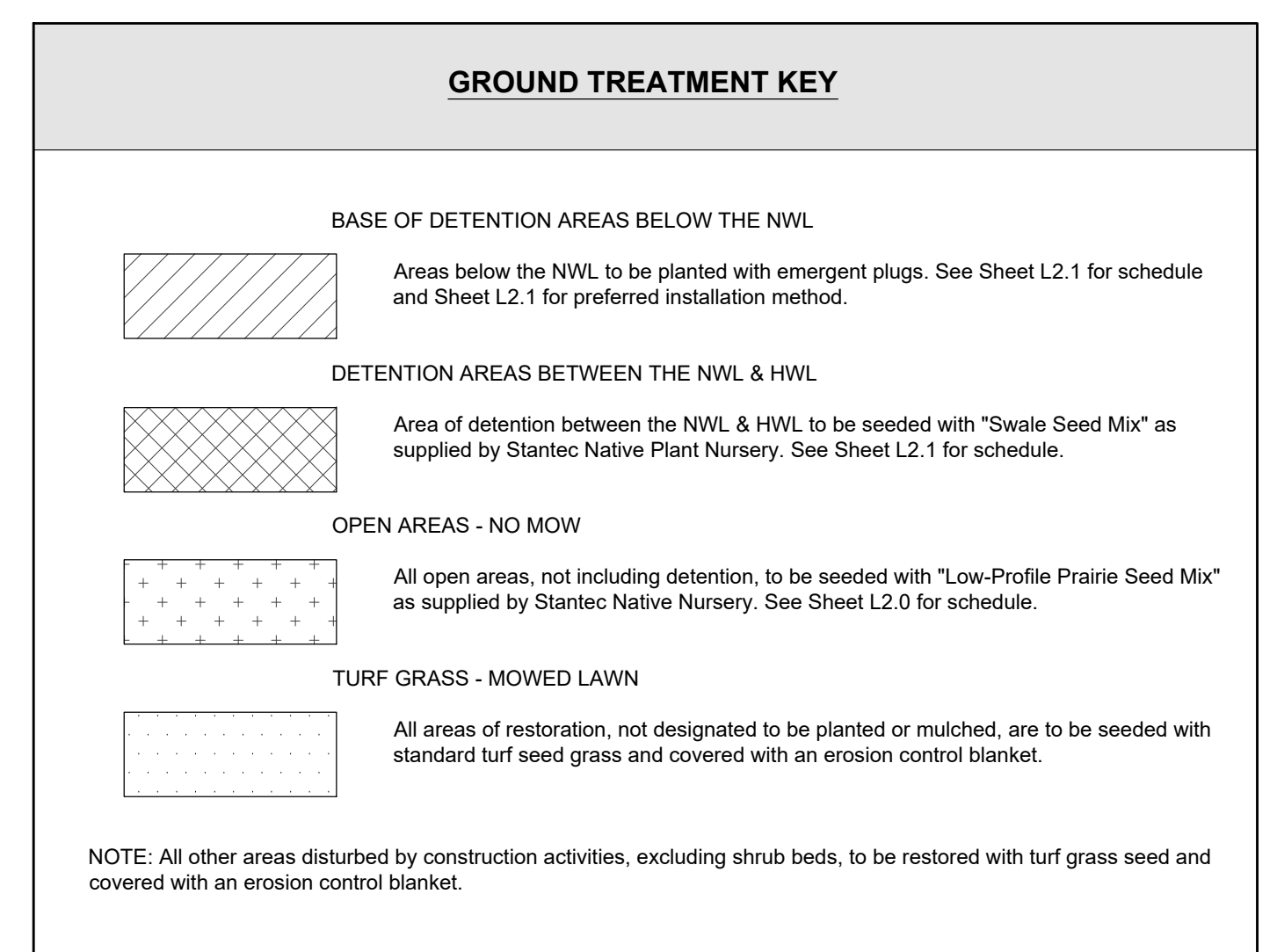
TASTY BITE
 CHANNAHON, ILLINOIS

LANDSCAPE INSTALLATION AND MONITORING SPECIFICATIONS
PLANTING DETAILS

date: 04-23-26
 drawn by: DSP
 checked by: KMT
 job no. **26240**
 sheet no. **L2.0**



Master Plant List						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
Shade Trees						
AFR	4	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB		
CYO	3	CARYA OVATA	SHAGBARK HICKORY	3" BB	NATIVE	
CEO	4	CELTIS OCCIDENTALIS	HACKBERRY	3" BB	NATIVE	
GBI	6	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	3" BB		MALE SPEC. ONLY
GTI	6	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3" BB		
GYD	5	GYMNOCADLUS DIOICUS	KENTUCKY COFFEETREE	3" BB	NATIVE	
LIT	4	LIRODENDRON TULIPIFERA	TULIPTREE	3" BB	NATIVE	
QBI	5	QUERCUS BICOLOR	SWAMP WHITE OAK	3" BB	NATIVE	
TAX	4	TAXODIUM DISTICHUM	BALD-CYPRESS	3" BB		
TAR	4	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	NATIVAR	
UCU	4	ULMUS X 'MORTON'	ACCOLADE ELM	3" BB		
Ornamental Trees						
AC	6	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	6" BB	NATIVE	
BEN	5	BETULA NIGRA	RIVER BIRCH	10" BB	NATIVE	
CP	3	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" BB	NATIVE	
MP	3	MALUS 'PRAIRIE FIRE'	CRABAPPLE	2.5" BB		
OV	3	OSTRYA VIRGINIANA	IRONWOOD	8" BB	NATIVE	
Evergreen Shrubs						
JCM	35	JUNIPERUS CHINENSIS 'MINT JULIP'	MINT JULIP SPREADING JUNIPER	24" BB		
TD	28	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEw	24" BB		SPREADING
Deciduous Shrubs						
HV	24	HAMMAMELIS VERNALIS	VERNAL WITCH-HAZEL	4" BB	NATIVE	
HP	10	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB		
HQ	11	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	36" BB		
SP	25	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	24" BB		
VD	28	VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	48" BB	NATIVAR	
VJ	14	VIBURNUM X JUDDI	JUDD VIBURNUM	36" BB		
Groundcover						
es	96	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	3" POTS	NATIVE	
Grasses						
ss	72	SCHIZACHYRIUM SCOPARUM 'STANDING OVATIO'	LITTLE BLUESTEM	1 GAL	NATIVAR	

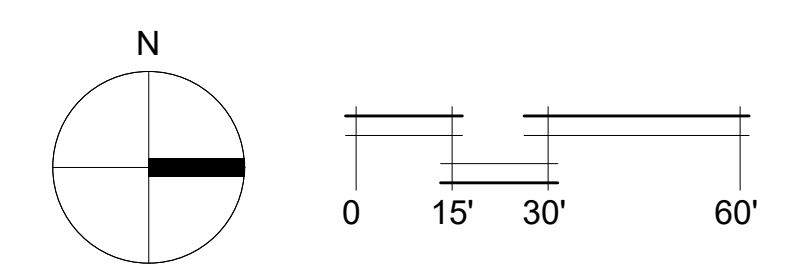


Village of Channahon Ordinance			
Landscape requirement Summary			
	Required	Existing/Proposed	
Parkway Plantings			
Street Trees - Robert Ave	302 LF	8	8
Street Trees - U.S. Route 6	318 LF	8	8
Street Trees - West Private Road	398 LF	10	5
Front Yard Perimeter Planting - U.S. Route 6			
Green Space (SF) ((LF*20)*30%)	30% of setback	1908	2643
Plant Units	80 units	80	106
Side & Rear Perimeter Planting			
10' Landscaped Area - Plant Units	10 units:100 LF	140	140
Interior Parking Lot (SF)			
Shade Trees	1:20 Parking Stalls	4	5
Stormwater/Detention Landscape			
Perimeter landscaping - Plant Units	20 units:100 LF	177	180

Landscape point calc (Front)	Total	Landscape point calc (Rear & Side)	Total	Landscape point calc (Stormwater)	Total
0 Shade	0	11 Shade	110	11 Shade	110
0 Evergreen (10'+ ht)	0	0 Evergreen (10'+ ht)	0	0 Evergreen (10'+ ht)	0
0 Evergreen (6-9' ht)	0	0 Evergreen (6-9' ht)	0	0 Evergreen (6-9' ht)	0
0 Ornamental	0	6 Ornamental	30	14 Ornamental	70
53 Lg Shrub	106	0 Lg Shrub	0	0 Lg Shrub	0
0 Sm shrub	0	0 Sm shrub	0	0 Sm shrub	0
0 Groundcover (SF)	0	0 Groundcover (SF)	0	0 Groundcover (SF)	0
0 (per 100 SF of area)	0	0 (per 100 SF of area)	0	0 (per 100 SF of area)	0
	106		140		180

LANDSCAPE PLAN

SCALE: 1" = 30'-0"



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no.	revision	description	date
		ISSUED FOR REVIEW	04-24-26

CARROLL SPEED
DEVELOPMENT
CHannahon, ILLINOIS

OVERALL LANDSCAPE PLAN
LANDSCAPE REQUIREMENTS
GROUND TREATMENT KEY
CONSTRUCTION NOTES

date:	04-24-26	checked:	KMT
drawn:	DSP		
job no.:	26250		
sheet no.:	L1.0		

LANDSCAPE MAINTENANCE SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPING. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.

STANDARDS
ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES.
ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.

ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS, USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.

APPROVALS
ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE.

ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION.

SOIL TESTING
THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY ANY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.

Table with 3 columns: Parameter, Landscape Trees & Shrubs, Turf. Includes rows for PH Range, Organic Matter, Magnesium, Phosphorus, Potassium, Soluble Salts, Boron, Manganese, Potassium, Sodium.

Table with 2 columns: Parameter, Amount. Includes rows for Boron (3 POUNDS PER ACRE), Manganese (50 POUNDS PER ACRE), Potassium (450 POUNDS PER ACRE), Sodium (20 POUNDS PER ACRE).

WORKMANSHIP
DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. ANY DAMAGE TO THE LANDSCAPE, STRUCTURES, OR IRRIGATION SYSTEMS CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

TURF

GENERAL CLEAN UP
PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.

MOWING
TURF GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL. FROM JUNE THROUGH SEPTEMBER, MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 3".

THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: MECHANICAL WEEDERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.

EDGING
EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEP CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.

FERTILIZING
SEASONALLY STEPPED FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.

LAWN WEED CONTROL: HERBICIDES
SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.

INSECT & DISEASE CONTROL FOR TURF
THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICE'S 'COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF' FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.

INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.

TREES, SHRUBS, & GROUND COVER

PRUNING
ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES. DEVELOP THE NATURAL SHAPES. DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.

- PRUNING GUIDELINES:
1. PRUNE PLANTS THAT FLOWER BEFORE THE END OF JUNE (SPRING BLOOMING) IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.
2. PRUNE PLANTS THAT FLOWER IN JULY - SEPTEMBER (SUMMER OR AUTUMN BLOOMING) IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS, SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.
3. DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS AND VIBURNUMS.
4. HOLLIES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER, IN ORDER TO USE THEIR BRANCHES FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.
5. BROADLEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.
6. HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE FIRST SHEARING OF THE SEASON.
7. CONIFERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.
A. YEW, JUNIPERS, HEMLOCKS AND ARBORVITAE MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.
B. FIRS AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.
C. PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.
8. GROUND COVER SHALL BE EDGED AND PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.
9. THINNING: REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON GRAB APPLES, LILACS, VIBURNUMS, ETC.
10. RENEWAL PRUNING: REMOVE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. ALSO REMOVE WEAK STEMS. ON OVERGROWN PLANTS, THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON FORSYTHIA, HYDRANGEA, SPIRAEA, ETC.

PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.
SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.

SPRING CLEANUP
PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.

FERTILIZING
FOR TREES, THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWTH STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS; YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.

THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET, FOR NARROW LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET, FOR BROADLEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 1000 SQUARE FEET.

SHRUBS AND GROUND COVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP OR FERTILIZED ONCE IN MARCH WITH 10-6-4 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA. ERICACEOUS MATERIAL SHALL BE FERTILIZED WITH AN ERICACEOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.

TREES, SHRUBS, & GROUND COVER (CONT.)

MULCHING
ANNUALLY, ALL TREE AND SHRUB BEDS WILL BE PREPARED AND MULCHED. TO A MINIMUM DEPTH OF 3" WITH QUALITY MULCH TO MATCH EXISTING. BED PREPARATION SHALL INCLUDE REMOVING ALL WEEDS, CLEANING UP SAID BED, EDGING AND CULTIVATING DECAYED MULCH INTO THE SOIL. DEBRIS FROM EDGING IS TO BE REMOVED FROM BEDS WHERE APPLICABLE. IF DEEMED NECESSARY, A PRE-EMERGENT HERBICIDE MAY BE APPLIED TO THE SOIL TO INHIBIT THE GROWTH OF FUTURE WEEDS.

ORGANICALLY MAINTAINED GARDENS SHALL NOT RECEIVE ANY PRE-EMERGENT HERBICIDES. MULCH IN EXCESS OF 4" WILL BE REMOVED FROM THE BED AREAS. SPECIAL CARE SHALL BE TAKEN IN THE MULCHING OPERATION NOT TO OVER-MULCH OR COVER THE BASE OF TREES AND SHRUBS. THIS CAN BE DETRIMENTAL TO THE HEALTH OF THE PLANTS.

WEEDING
ALL BEDS SHALL BE WEEDED ON A CONTINUOUS BASIS THROUGHOUT THE GROWING SEASON TO MAINTAIN A NEAT APPEARANCE AT ALL TIMES.

PRE-EMERGENT (SOIL-APPLIED) AND POST-EMERGENT (FOLIAR-APPLIED) HERBICIDES SHALL BE USED WHERE AND WHEN APPLICABLE AND IN ACCORDANCE WITH THE PRODUCT'S LABEL.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND COVER
THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE LANDSCAPE SITE ON A REGULAR BASIS. THE MONITORING FREQUENCY SHALL BE MONTHLY EXCEPT FOR GROWING SEASON, WHICH WILL BE EVERY OTHER WEEK. TRAINED PERSONNEL SHALL MONITOR FOR PLANT DAMAGING INSECT ACTIVITY, PLANT PATHOGENIC DISEASES AND POTENTIAL CULTURAL PROBLEMS IN THE LANDSCAPE. THE PEST OR CULTURAL PROBLEM WILL BE IDENTIFIED UNDER THE SUPERVISION OF THE CONTRACTOR.

FOR PLANT DAMAGING INSECTS AND MITES IDENTIFIED IN THE LANDSCAPE, THE CONTRACTOR SHALL CONSULT AND FOLLOW THE RECOMMENDATIONS OF THE MOST CURRENT EDITION OF THE STATE COOPERATIVE SERVICE PUBLICATION ON INSECT CONTROL ON LANDSCAPE PLANT MATERIAL.

PLANT PATHOGENIC DISEASE PROBLEMS IDENTIFIED BY THE CONTRACTOR THAT CAN BE RESOLVED BY PRUNING OR PHYSICAL REMOVAL OF DAMAGED PLANT PARTS WILL BE PERFORMED AS PART OF THE CONTRACT. FOR AN ADDITIONAL CHARGE, PLANT PATHOGENIC DISEASES THAT CAN BE RESOLVED THROUGH PROPERLY TIMED APPLICATIONS OF FUNGICIDES SHALL BE MADE WHEN THE OWNER AUTHORIZES IT.

IF THE CONTRACTOR NOTES AN ESPECIALLY INSECT-OR DISEASE-PRONE PLANT SPECIES IN THE LANDSCAPE, HE/SHE WILL SUGGEST REPLACEMENT WITH A MORE PEST-RESISTANT CULTIVAR OR SPECIES THAT IS CONSISTENT WITH THE INTENT OF THE LANDSCAPE DESIGN.

NOTE: FOR IDENTIFICATION OF PLANT-DAMAGING INSECTS AND MITES, A REFERENCE TEXTBOOK THAT CAN BE USED IS INSECTS THAT FEED ON TREES AND SHRUBS BY JOHNSON AND LYON, COMSTOCK PUBLISHING ASSOCIATES. FOR PLANT PATHOGENIC DISEASES, TWO REFERENCES ARE SUGGESTED: SCOUTING AND CONTROLLING WOODY ORNAMENTAL DISEASES IN LANDSCAPES AND NURSERIES, AUTHORIZED BY GARY MOORMAN, PUBLISHED BY PENN STATE COLLEGE OF AGRICULTURAL SCIENCES, AND DISEASES OF TREES AND SHRUBS BY SINCLAIR AND LYON, PUBLISHED BY COMSTOCK PUBLISHING PRESS.

TRASH REMOVAL
THE MAINTENANCE CONTRACTOR SHALL REMOVE TRASH FROM ALL SHRUB AND GROUND COVER BEDS WITH EACH VISIT.

LEAF REMOVAL
ALL FALLEN LEAVES SHALL BE REMOVED FROM THE SITE IN NOVEMBER AND ONCE IN DECEMBER. IF REQUESTED BY THE OWNER, THE MAINTENANCE CONTRACTOR, AT AN ADDITIONAL COST TO THE OWNER SHALL PERFORM SUPPLEMENTAL LEAF REMOVALS.

WINTER CLEAN-UP
THE PROJECT SHALL RECEIVE A GENERAL CLEAN-UP ONCE DURING EACH OF THE WINTER MONTHS, I.E., JANUARY, FEBRUARY, AND MARCH.

- CLEAN-UP INCLUDES:
• CLEANING CURBS AND PARKING AREAS
• REMOVING ALL TRASH AND UNWANTED DEBRIS
• TURNING MULCH WHERE NECESSARY
• INSPECTION OF GROUNDS

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

THE INSTALLATION OF PERENNIALS, ANNUALS, AND BULBS, UNLESS SPECIFIED HEREIN, SHALL BE REVIEWED WITH THE OWNER, AND, IF ACCEPTED, INSTALLED AND BILLED TO THE OWNER.

SEASONAL COLOR MAINTENANCE
PERENNIALIZATION OF BULBS:

- AFTER FLOWERING, CUT OFF SPENT FLOWER HEADS.
2. ALLOW LEAVES OF DAFFODILS AND HYACINTHS TO REMAIN FOR SIX WEEKS AFTER FLOWERS HAVE FADED, CUT OFF AT BASE.
3. ALLOW LEAVES OF OTHER BULBS TO YELLOW NATURALLY AND THEN CUT OFF AT BASE.
4. APPLY FERTILIZER AFTER FLOWERING IN SPRING, POSSIBLY AGAIN IN FALL. APPLY 10-10-10 AT THE RATE OF 2 POUNDS PER 1000 SQUARE FEET OR TOP-DRESS WITH COMPOST 1" DEEP. FALL FERTILIZATION WITH A BULB FERTILIZER OR MULCHING WITH 1" OF COMPOST IS OPTIONAL.

- FLOWER ROTATION:
1. BULBS: REMOVE THE ENTIRE PLANT AND BULB AFTER FLOWERS HAVE FADED OR AT THE DIRECTION OF THE OWNER AND INSTALL NEW PLANTS IF INCLUDED IN CONTRACT.
2. SUMMER ANNUALS OR FALL PLANTS.
A. DEAD HEADING: PINCH AND REMOVE DEAD FLOWERS ON ANNUALS AS NECESSARY.
B. FERTILIZING SUMMER ANNUALS: FERTILIZE USING ONE OR TWO METHODS: APPLY A SLOW-RELEASE FERTILIZER IN MAY FOLLOWING MANUFACTURER'S RECOMMENDATIONS. A BOOSTER SUCH AS 10-10-10 MAY BE NECESSARY IN LATE SUMMER OR, APPLY LIQUID FERTILIZATIONS OF 20-20-20 WATER-SOLUBLE FERTILIZERS, NOT TO EXCEED 2 POUNDS OF 20-20-20 PER 100 GALLONS OF WATER, MONTHLY, OR MULCH WITH COMPOST 1" DEEP.
C. REMOVAL: IF FALL PLANTS ARE TO BE INSTALLED, SUMMER ANNUALS SHALL BE LEFT IN THE GROUND UNTIL THE FIRST KILLING FROST AND THEN REMOVED, UNLESS OTHERWISE DIRECTED BY THE OWNER.

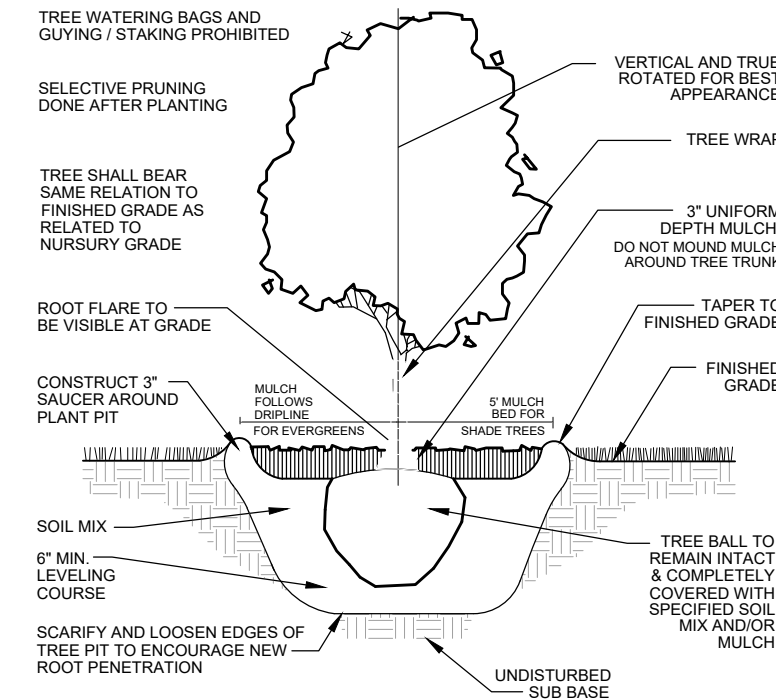
- PERENNIALS:
1. AFTER INITIAL INSTALLATION, IF A TIME-RELEASED FERTILIZER HAS BEEN INCORPORATED DURING PLANT INSTALLATION, NO MORE FERTILIZER NEED BE APPLIED THE FIRST GROWING SEASON.
2. THE FOLLOWING YEAR:
A. FERTILIZE PERENNIALS WITH A SLOW-RELEASE FERTILIZER OR ANY 50% ORGANIC FERTILIZER, OR MULCH PERENNIALS WITH COMPOST 1" DEEP.
B. CUT ALL DECIDUOUS PERENNIALS FLUSH TO THE GROUND BY MARCH 1. IF THIS WAS NOT DONE THE PREVIOUS FALL, TO ALLOW NEW GROWTH TO DEVELOP FREELY.
C. MULCH THE PERENNIAL BED ONCE IN EARLY SPRING AT 1"-2" DEPTH. IF SOIL IS BARED IN LATE FALL, RE-MULCH LIGHTLY AFTER GROUND IS FROZEN TO PROTECT PERENNIALS.
D. INSPECT FOR INSECT OR DISEASE PROBLEMS ON PERENNIALS. MONITOR AND CONTROL SLUGS ON HOSTAS AND LIGULARIAS. POWDERY MILDEW ON PHLOX, MONARDAS, AND ASTERS CAN BE PREVENTED WITH PROPERLY TIMED FUNGICIDES OR USE OF DISEASE-RESISTANT VARIETIES.
E. WEED PERENNIAL BED AS SPECIFIED IN "WEEDING" ABOVE.
F. PRUNE BRANCHING SPECIES TO INCREASE DENSITY. CUT ONLY THE FLOWERING STEMS AFTER BLOOMING. DO NOT REMOVE THE FOLIAGE.
3. THE FOLLOWING FALL, CUT BACK DETERIORATING PLANT PARTS UNLESS INSTRUCTED TO RETAIN FOR WINTER INTEREST, E.G. SEDUM AUTUMN JOY AND ORNAMENTAL GRASSES.
4. LONG-TERM CARE:
A. DIVIDE PLANTS THAT OVERCROWD THE SPACE PROVIDED. DIVIDE ACCORDING TO THE SPECIES. SOME NEED FREQUENT DIVIDING, E.G. ASTERS AND YARROW EVERY TWO YEARS; OTHER RARELY, IF EVER, E.G. PEONIES, HOSTAS, AND ASTILBE.
B. FOR DETAILED INFORMATION REGARDING THE CARE OF SPECIFIC PERENNIALS, REFER TO ALL ABOUT PERENNIALS BY ORTHO; PERENNIALS: HOW TO SELECT, GROW AND ENJOY BY PAMELA HARPER AND FREDERICK MCGOOTHY, HP BOOKS PUBLISHER; HERBACEOUS PERENNIAL PLANTS: A TREATISE ON THEIR IDENTIFICATION, CULTURE AND GARDEN ATTRIBUTES BY ALLAN ARMITAGE, STIPES PUB LLC.

SUMMARY OF MAINTENANCE

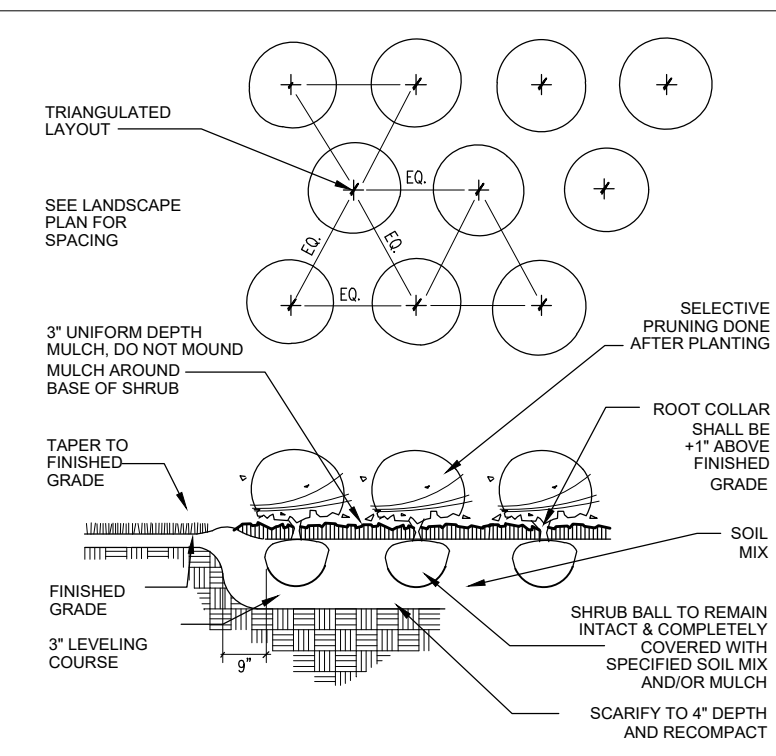
- LAWN MAINTENANCE
1. SOIL ANALYSIS PERFORMED ANNUALLY TO DETERMINE PH. IF PH DOES NOT FALL WITHIN SPECIFIED RANGE, ADJUST ACCORDING TO SOIL TEST RECOMMENDATIONS TO MAINTAIN PH LEVELS OF THE SOIL TO PROVIDE AN ENVIRONMENT CONDUCE TO TURF VITALITY FOR TURF GRASSES.
2. MAINTAIN PROPER FERTILITY AND PH LEVELS OF THE SOIL TO PROVIDE AN ENVIRONMENT CONDUCE TO TURF VITALITY FOR TURF GRASSES.
3. MOW TURF ON A REGULAR BASIS AND AS SEASON AND WEATHER DICTATES. REMOVE NO MORE THAN THE TOP 1/3 OF LEAF BLADE. CLIPPINGS ON PAVED AND BED AREAS WILL BE REMOVED.
4. AERATE WARM SEASON TURF AREAS TO MAINTAIN HIGH STANDARDS OF TURF APPEARANCE.
5. APPLY PRE-EMERGENT TO TURF IN TWO APPLICATIONS IN EARLY FEBRUARY AND EARLY APRIL TO EXTEND BARRIER.
6. APPLY POST EMERGENT AS NEEDED TO CONTROL WEEDS.
7. MECHANICALLY EDGE CURBS AND WALKS.
8. APPLY NON-SELECTIVE HERBICIDE, TO MULCHED BED AREAS AND PAVEMENT AND REMOVE EXCESS RUNNERS TO MAINTAIN CLEAN DEFINED BEDS.

- TREE, GROUND COVER AND SHRUB BED MAINTENANCE
1. PRUNE SHRUBS, TREES AND GROUND COVER TO ENCOURAGE HEALTHY GROWTH AND CREATE A NATURAL APPEARANCE.
2. MULCH TO BE APPLIED IN FEBRUARY/MARCH WITH A HALF RATE IN LATE SUMMER TO TOP DRESS.
3. APPLY PRE-EMERGENT HERBICIDES IN FEBRUARY AND APRIL.
4. MANUAL WEED CONTROL TO MAINTAIN CLEAN BED APPEARANCE.
5. APPLY FUNGICIDES AND INSECTICIDES AS NEEDED TO CONTROL INSECTS AND DISEASE.
6. ORNAMENTAL SHRUBS, TREES AND GROUND COVER SHALL BE FERTILIZED THREE (3) TIMES PER YEAR WITH A BALANCED MATERIAL (JANUARY/FEBRUARY, APRIL/MAY, AND OCTOBER/NOVEMBER)
7. EDGE ALL MULCHED BEDS.
8. REMOVE ALL LITTER AND DEBRIS.

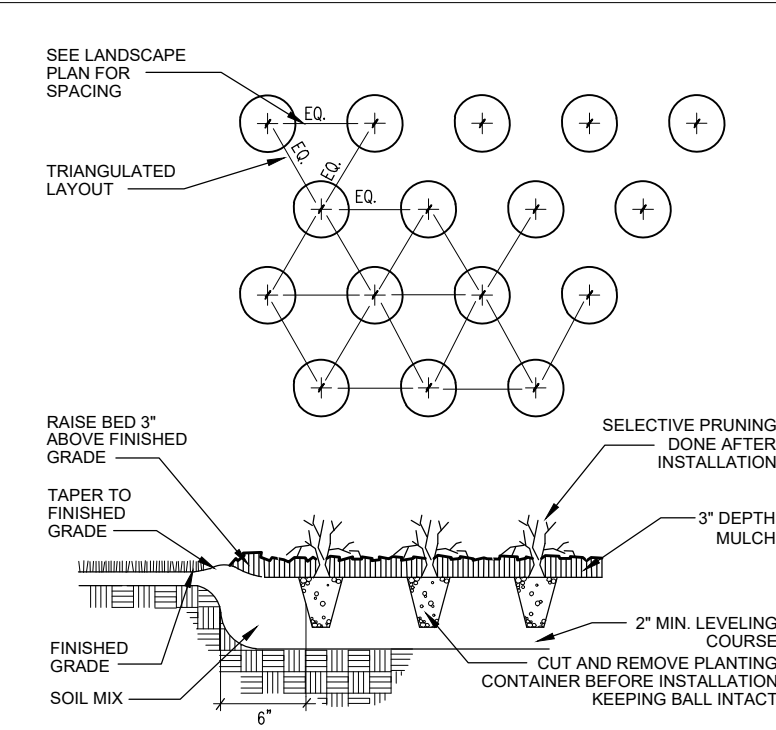
- GENERAL MAINTENANCE
1. REMOVE ALL MAN-MADE DEBRIS, BLOW EDGES.
2. INSPECT GROUNDS ON A MONTHLY BASIS AND SCHEDULE INSPECTION WITH UNIT OPERATOR.



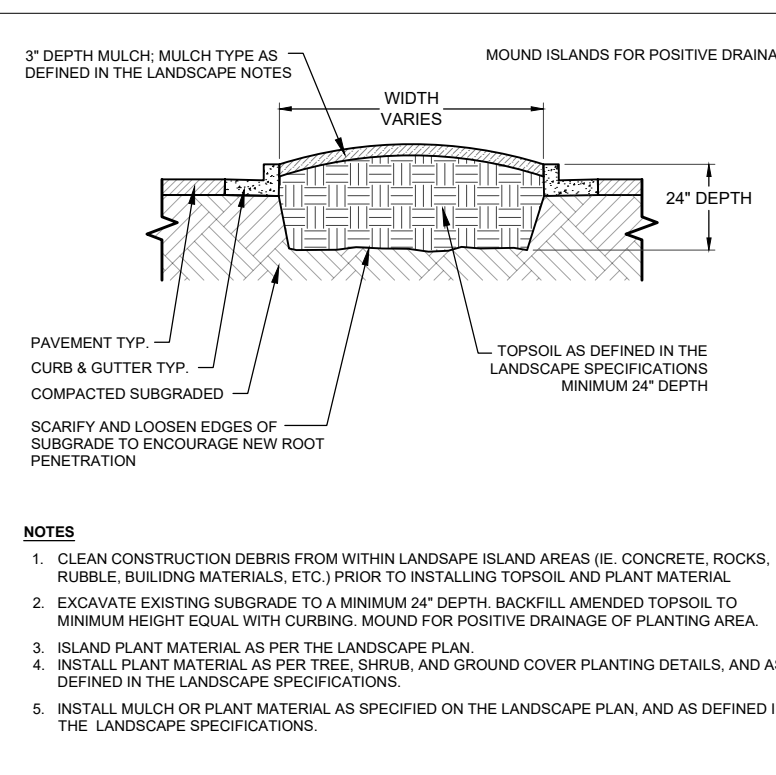
1 TREE PLANTING DETAIL
L2.0 SCALE: NO SCALE



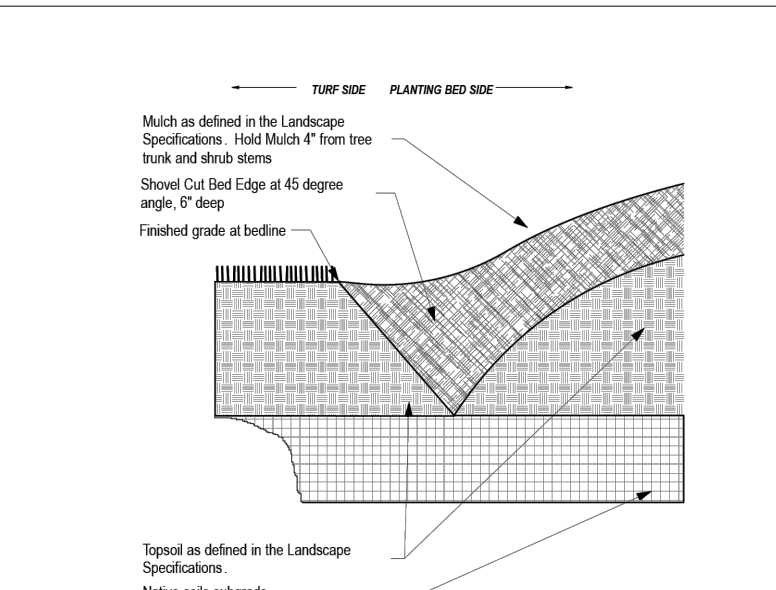
2 SHRUB PLANTING DETAIL
L2.0 SCALE: NO SCALE



3 GROUND COVER DETAIL
L2.0 SCALE: NO SCALE



4 PARKING ISLAND DETAIL
L2.0 SCALE: NO SCALE



5 SPADED PLANTING BED EDGE DETAIL
L2.0 SCALE: NO SCALE

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Table with 2 columns: initial, date. Row 1: DSP, 04-24-26

Table with 2 columns: revision, description. Row 1: ISSUED FOR REVIEW

Table with 2 columns: no., description. Row 1: (empty), (empty)

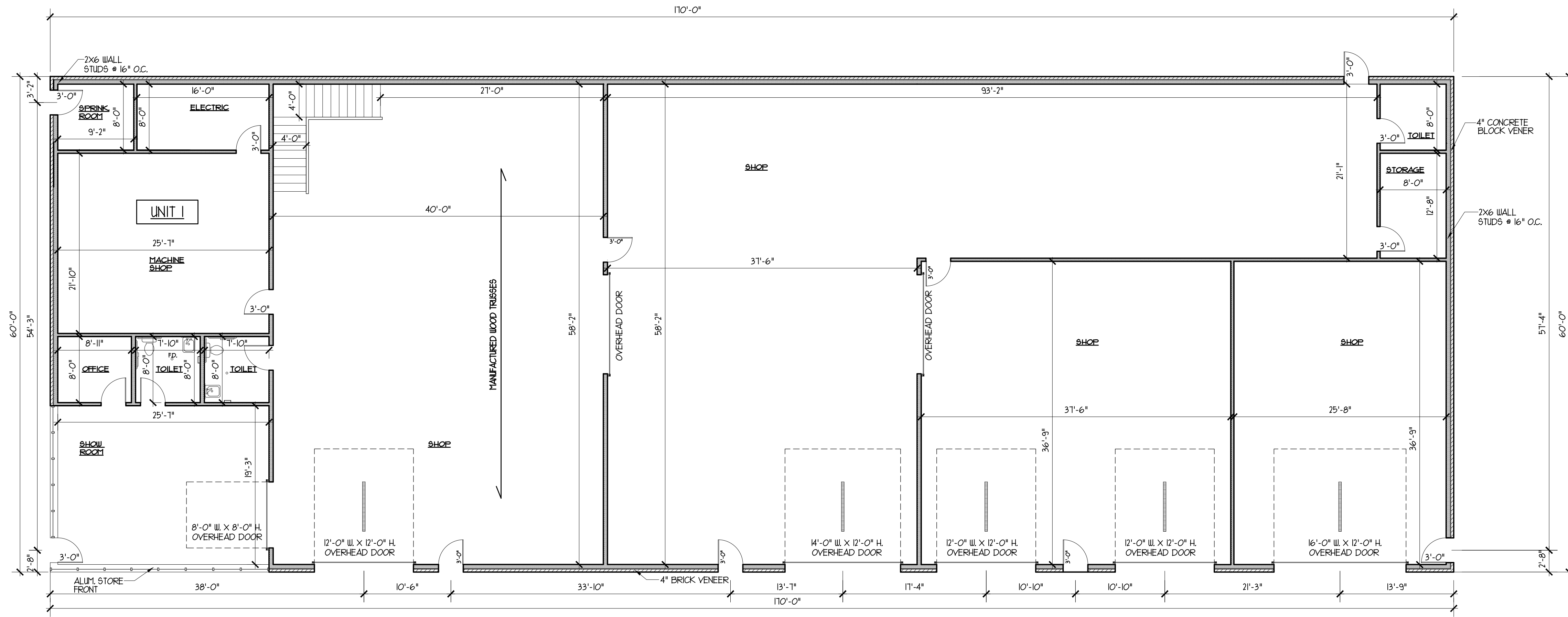
CARROLL SPEED DEVELOPMENT CHANNAHON, ILLINOIS

LANDSCAPE INSTALLATION AND MONITORING SPECIFICATIONS
PLANTING DETAILS

Table with 2 columns: date, checked. Row 1: 04-24-26, KMT

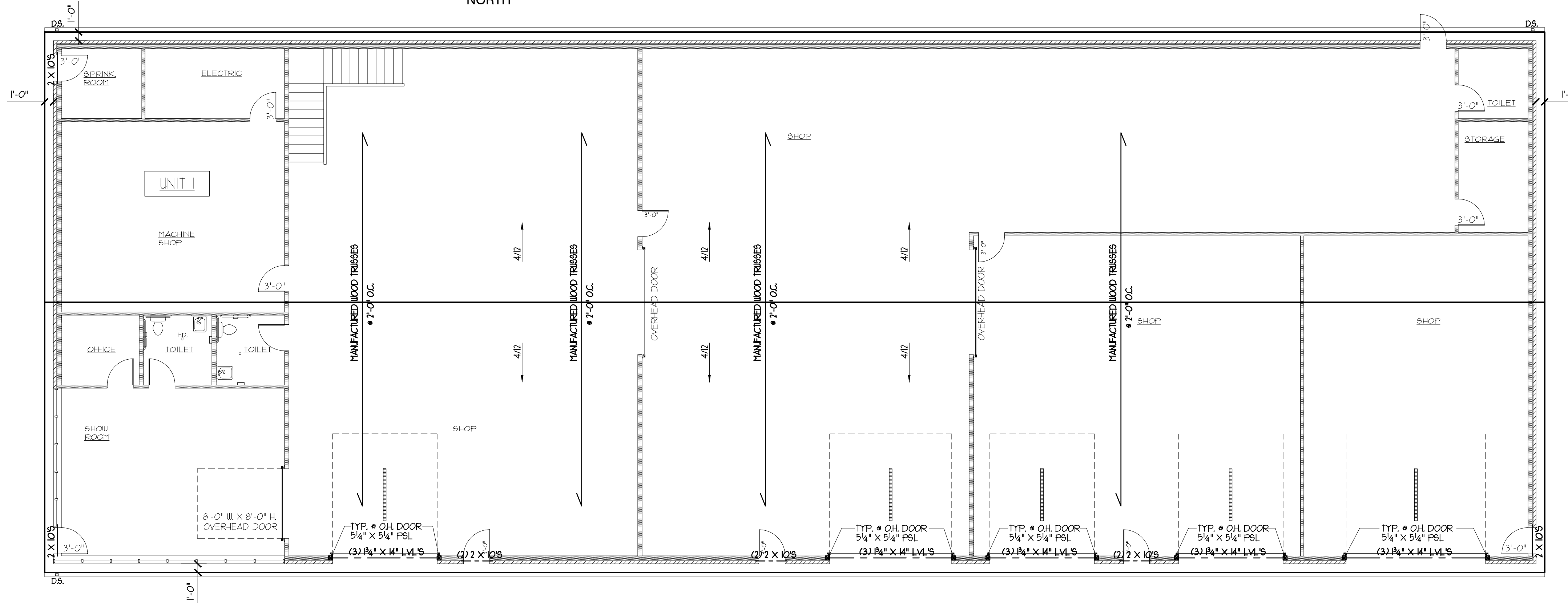
job no. 26250

sheet no. L2.0



**BUILDING 1
PROPOSED FLOOR PLAN**

SCALE: 1/8" = 1'-0"



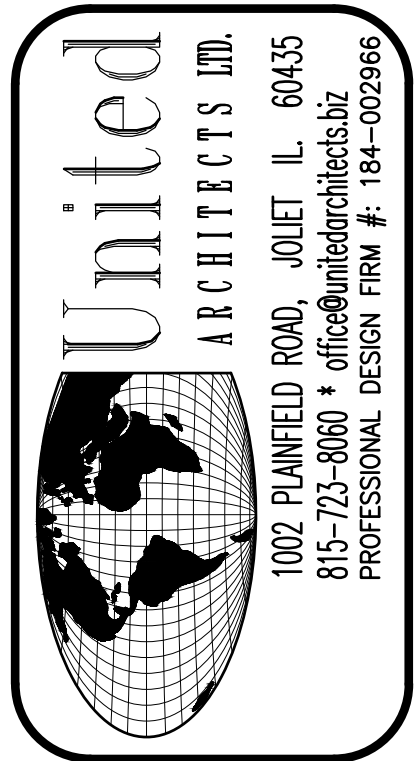
**BUILDING 1
PROPOSED ROOF PLAN**

SCALE: 1/8" = 1'-0"



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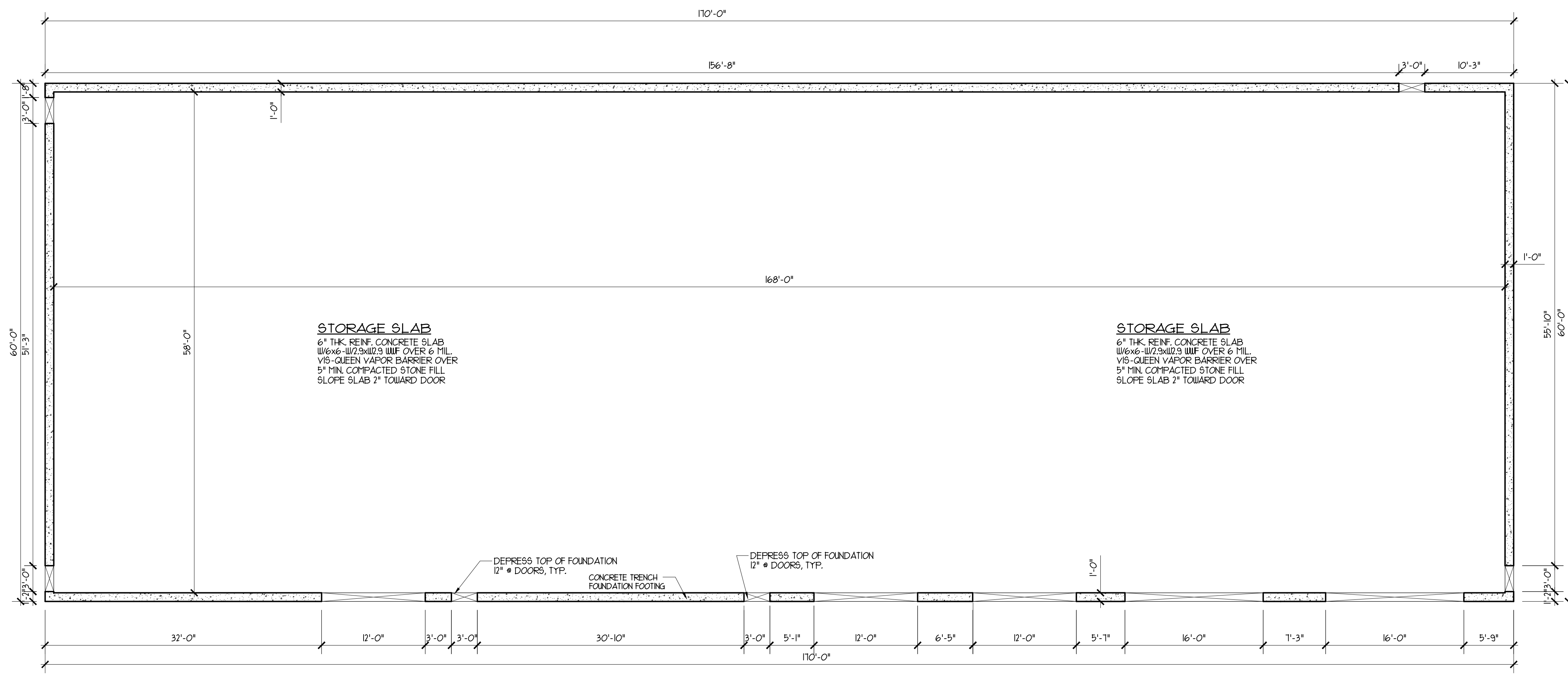
ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025



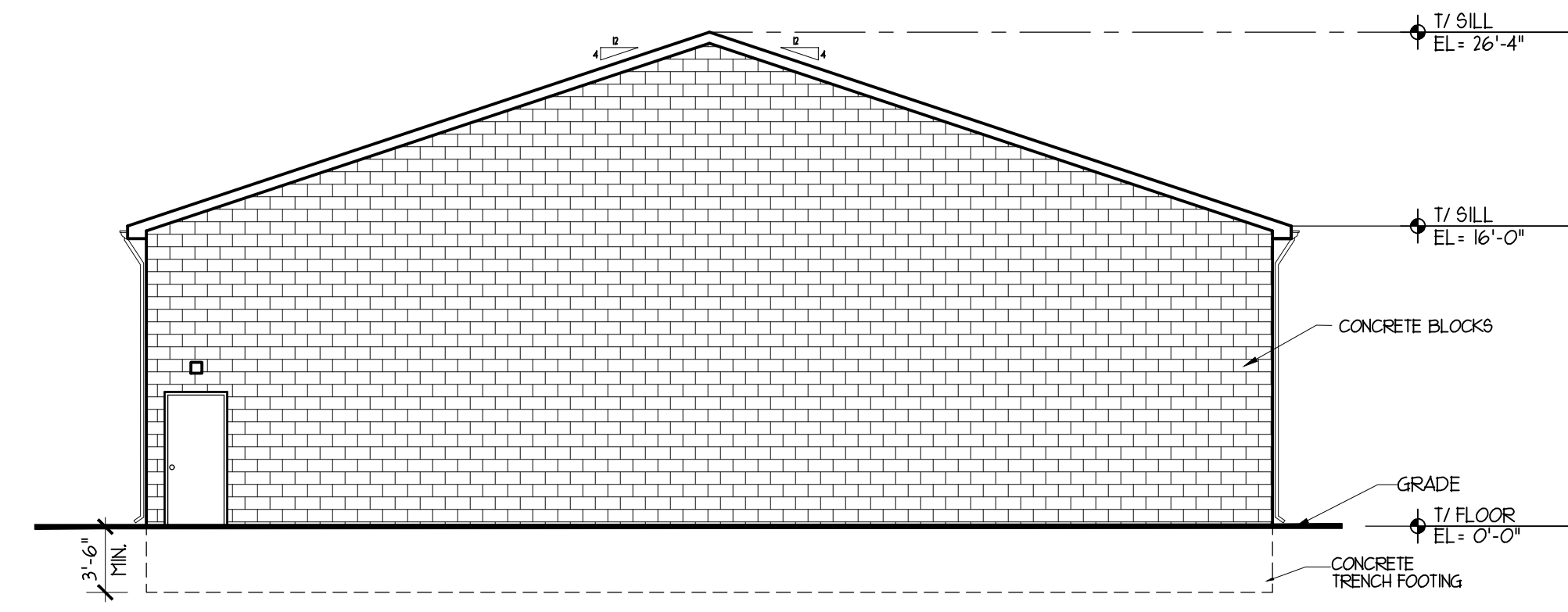
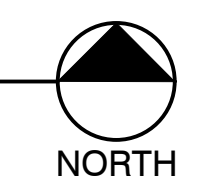
REVISION NO.	DATE	REMARKS

PROPOSED CARROLL SPEED SHOP
FOR: E.E.C., IL
ROUTE 6, CHANNAHON, IL

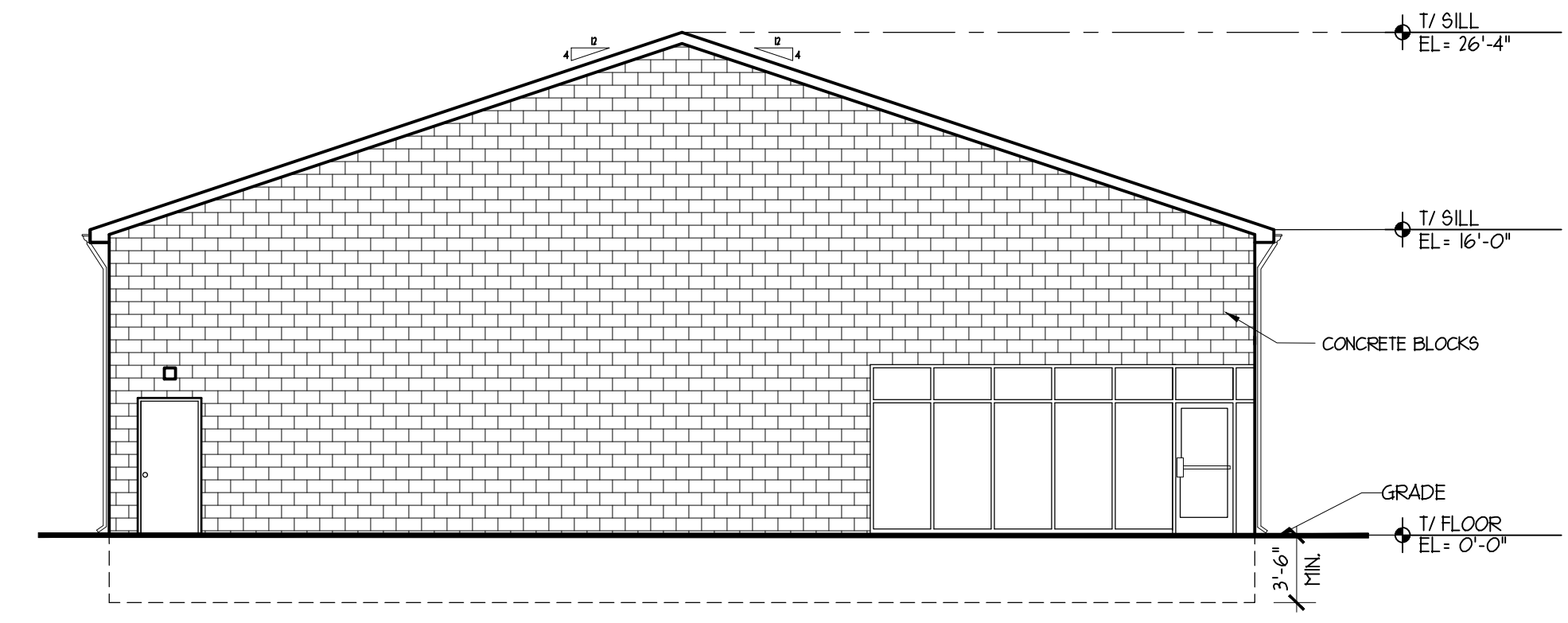
DRAWN BY: Z.A. & M.A.
CHECKED BY: BOB GEBEL
DATE: OCTOBER 20, 2025
PROJECT NO: 25-17
TITLE: PROP. PLANS
SHEET A-5



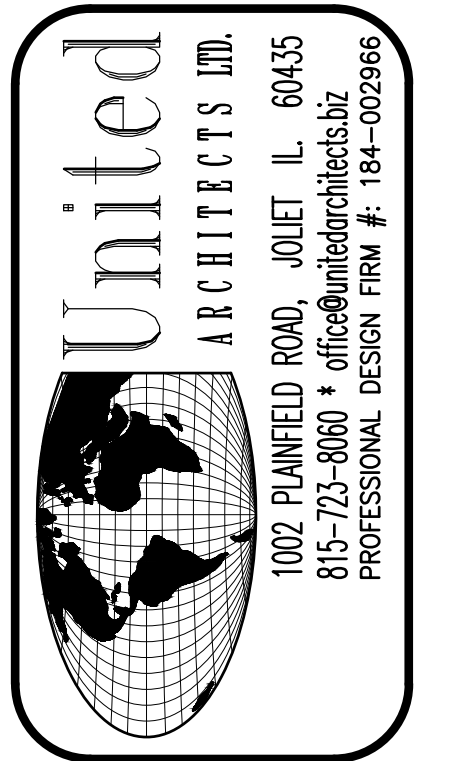
**BUILDING 1
PROPOSED FOUNDATION PLAN**
SCALE: 1/8" = 1'-0"



**BUILDING 1
PROPOSED RIGHT SIDE ELEVATION**
SCALE: 1/8" = 1'-0"



**BUILDING 1
PROPOSED LEFT SIDE ELEVATION**
SCALE: 1/8" = 1'-0"



REVISION NO.	DATE	REMARKS

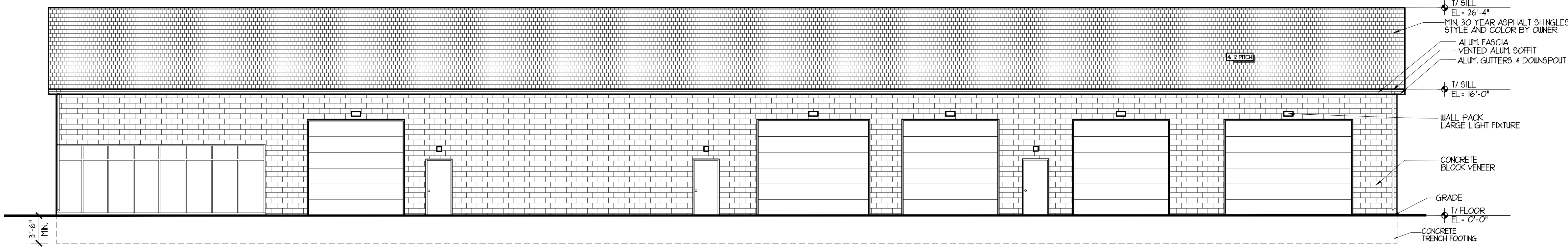
PROPOSED CARROLL SPEED SHOP
FOR: E.E.C., IL
ROUTE 6, CHANNAHON, IL

DRAWN BY: Z.A. & M.A.
CHECKED BY: BOB GEBEL
DATE: OCTOBER 20, 2025
PROJECT NO: 25-17
TITLE: PROP. FOUNDATION PLAN & ELE.

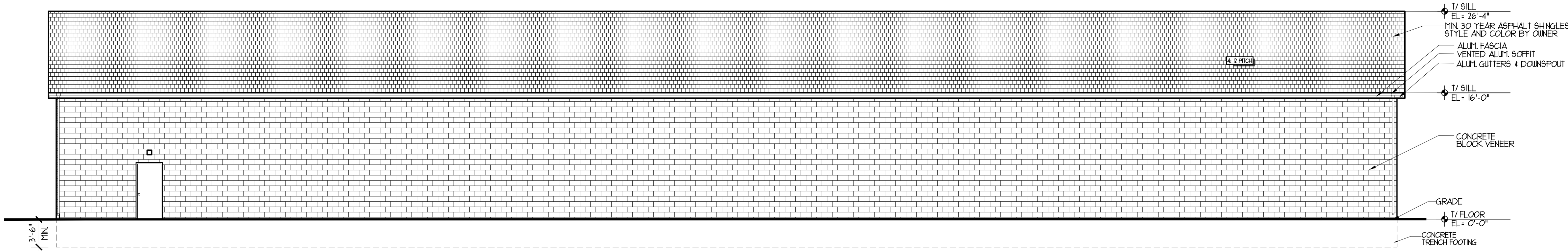
**SHEET
A-6**

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ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025



**BUILDING 1
 PROPOSED REAR ELEVATION**
 SCALE : 1/4" = 1'-0"



**BUILDING 1
 PROPOSED FRONT ELEVATION**
 SCALE : 1/4" = 1'-0"

ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025

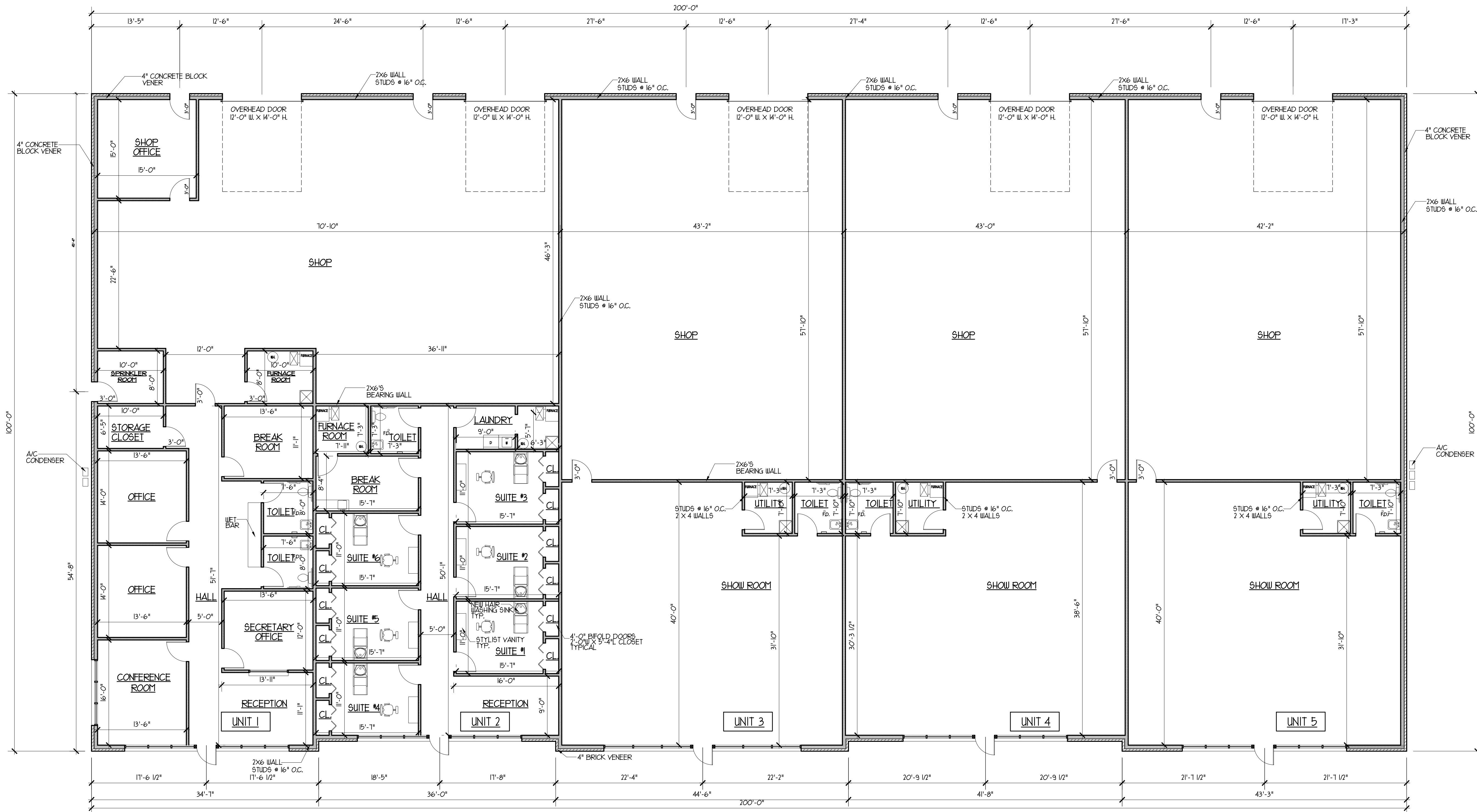
REVISION NO.	DATE	REMARKS

PROPOSED CARROLL SPEED SHOP
 FOR : E.E.C. , IL
 ROUTE 6, CHANNAHON, IL

DRAWN BY: Z.A. & M.A.
CHECKED BY: BOB GEBEL
DATE : OCTOBER 20, 2025
PROJECT NO: 25-17
TITLE: PROP. ELEVATIONS

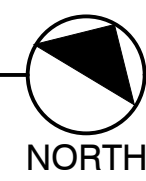
**SHEET
 A-7**

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**BUILDING 2
 PROPOSED FLOOR PLAN**

SCALE : 1/8" = 1'-0"



DIMENSIONS ARE SHOWN TO THE EDGE OF STUDS
 OR EXTERIOR PLYWOOD
 TOTAL SF: 20,000 SF

ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025

REVISION NO. -DATE- -REMARKS-

PROPOSED BUILDING 2

FOR : E.E.C., IL
 ROUTE 6, CHANNAFON, IL

DRAWN BY: Z.A. & M.A.
 CHECKED BY: BOB GEBEL
 DATE : OCTOBER 20, 2025
 PROJECT NO: 25-17
 TITLE: PROP. FLOOR PLAN

**SHEET
 A-1**

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REVISION NO.	DATE	REMARKS

ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025

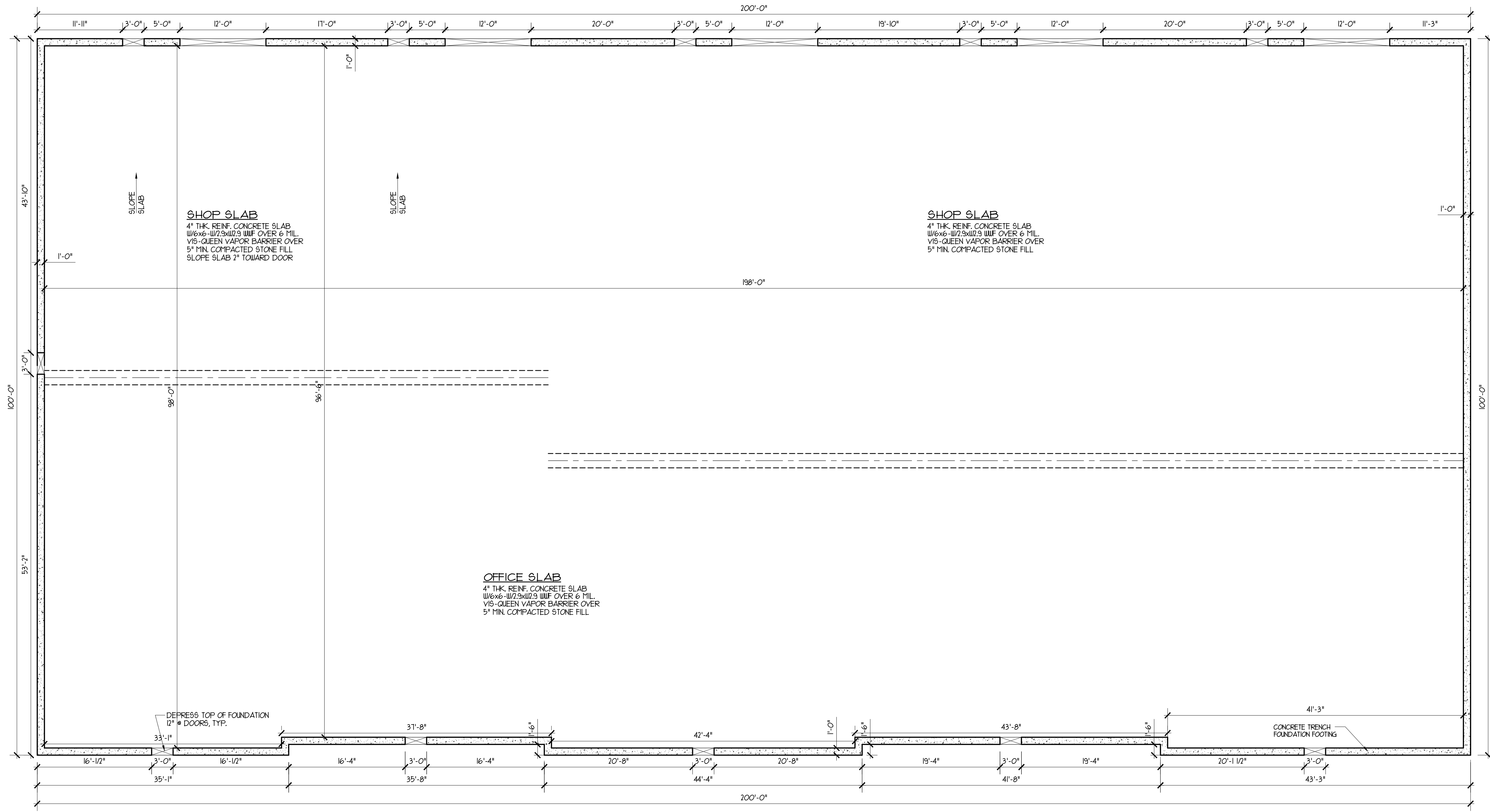
PROPOSED BUILDING 2

FOR : E.E.C., IL
 ROUTE 6, CHANNAHON, IL

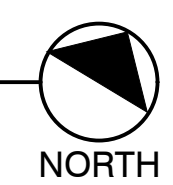
DRAWN BY: Z.A. & M.A.
 CHECKED BY: BOB GEBEL
 DATE : OCTOBER 20, 2025
 PROJECT NO: 25-17
 TITLE: PROP. FOUNDATION PLAN

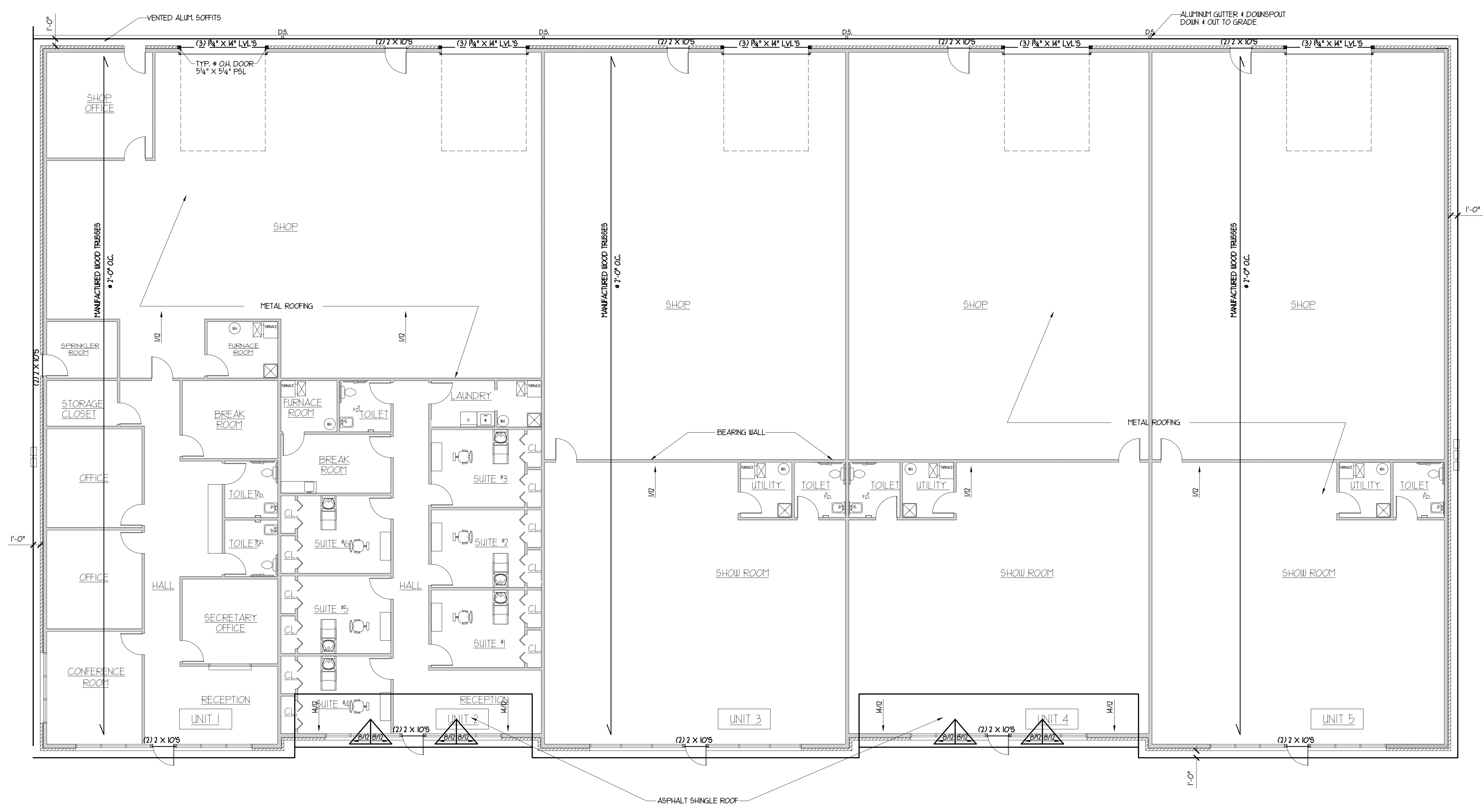
SHEET
 A-2

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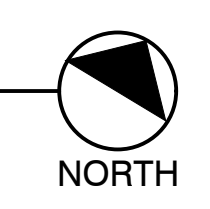


**BUILDING 2
 PROPOSED FOUNDATION PLAN**
 SCALE : 1/8" = 1'-0"





**BUILDING 2
 PROPOSED ROOF PLAN**
 SCALE : 1/8" = 1'-0"



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ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025

REVISION NO.	DATE	REMARKS

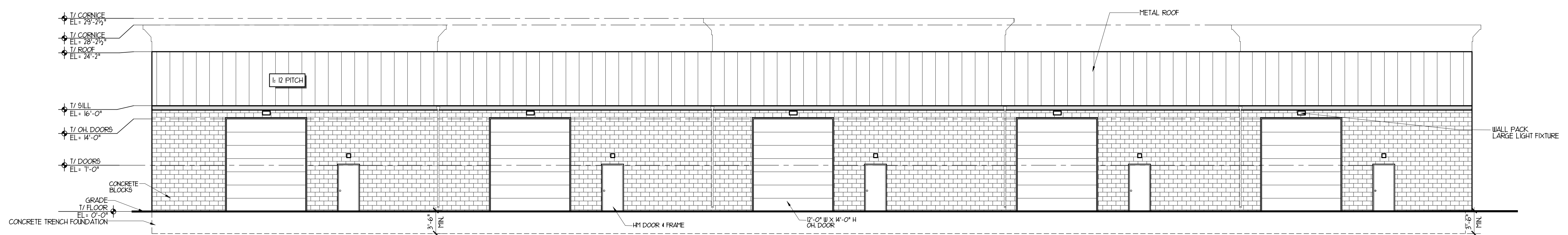
PROPOSED BUILDING 2
 FOR : E.E.C. , IL
 ROUTE 6, CHANNAHON, IL

DRAWN BY: Z.A. & M.A.
 CHECKED BY: BOB GEBEL
 DATE : OCTOBER 20, 2025
 PROJECT NO: 25-17
 TITLE: PROP. ROOF PLAN

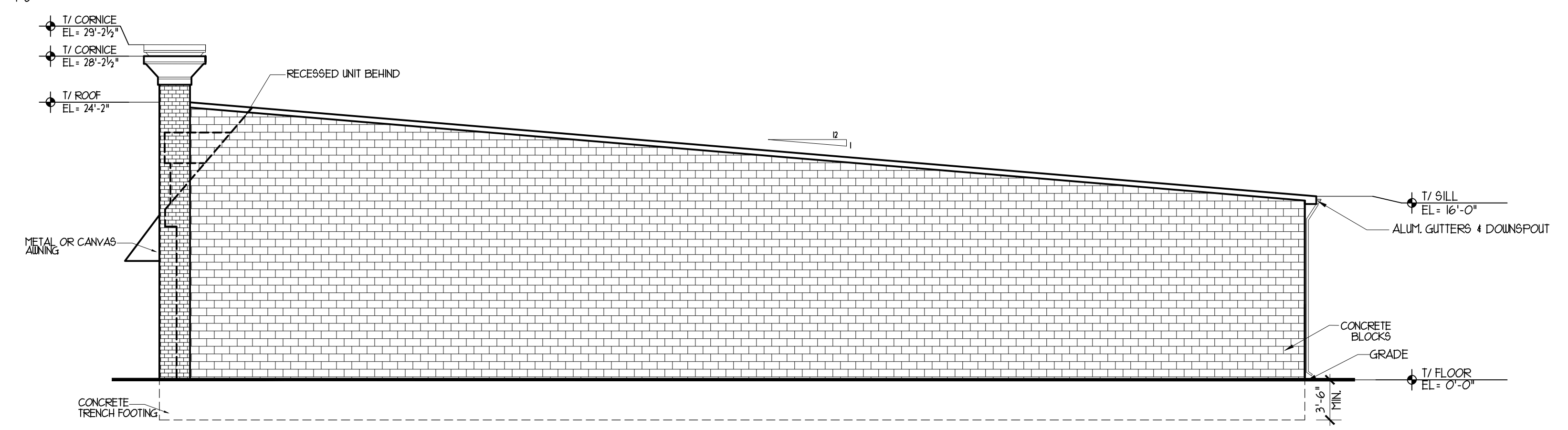
**SHEET
 A-3**



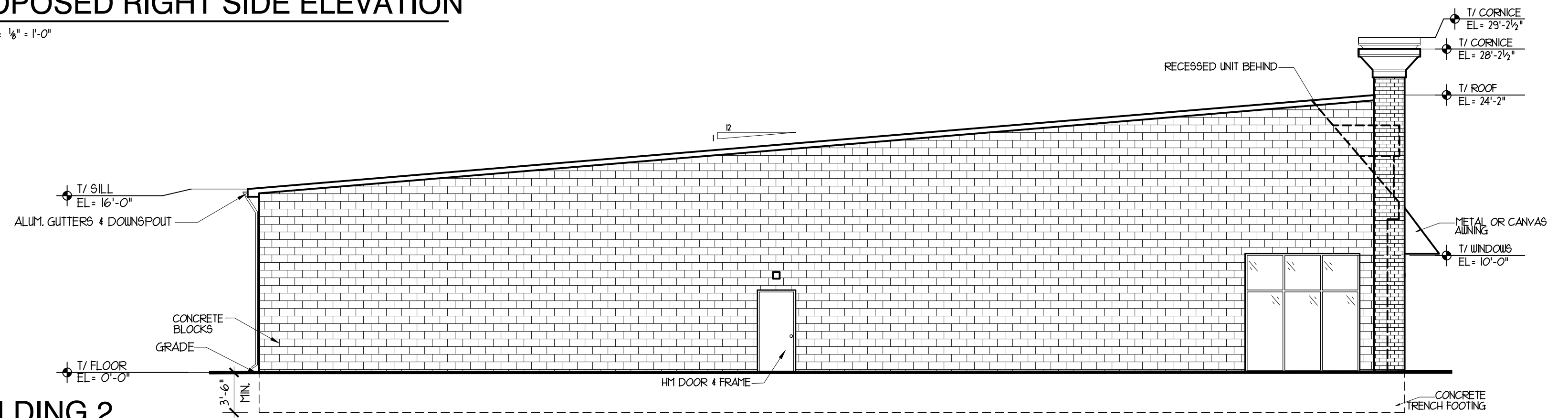
**BUILDING 2
 PROPOSED FRONT ELEVATION**
 SCALE : 1/8" = 1'-0"



**BUILDING 2
 PROPOSED REAR ELEVATION**
 SCALE : 1/8" = 1'-0"



**BUILDING 2
 PROPOSED RIGHT SIDE ELEVATION**
 SCALE : 1/8" = 1'-0"



**BUILDING 2
 PROPOSED LEFT SIDE ELEVATION**
 SCALE : 1/8" = 1'-0"

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ISSUED FOR OWNER'S REVIEW OCTOBER 20, 2025

REVISION NO. -DATE- -REMARKS-

PROPOSED BUILDING 2
 FOR : E.E.C. , IL
 ROUTE 6, CHANNAHON, IL

DRAWN BY: Z.A. & M.A.
 CHECKED BY: BOB GEBEL
 DATE : OCTOBER 20, 2025
 PROJECT NO: 25-17
 TITLE: PROPOSED ELEVATIONS

**SHEET
 A-4**

FROM: Scott R. McMaster, Director of Community Development
DATE: May 4, 2026
SUBJECT: Right-of-Way Dedication – Dellos Road Solar Development Plat of Dedication
FOR AGENDA: May 11, 2026

SUMMARY

Dellos Road Solar has submitted a proposal in conjunction with their planned solar energy development that includes the dedication of right-of-way (ROW) to the Village of Channahon. The subject property is located along Dellos Road and is currently under consideration for development as a solar facility.

As part of the project review process, the petitioner has indicated a willingness to dedicate additional ROW to support current and future transportation infrastructure needs. This dedication is being presented as part of the overall site development and annexation/zoning considerations

The proposed ROW dedication is intended to:

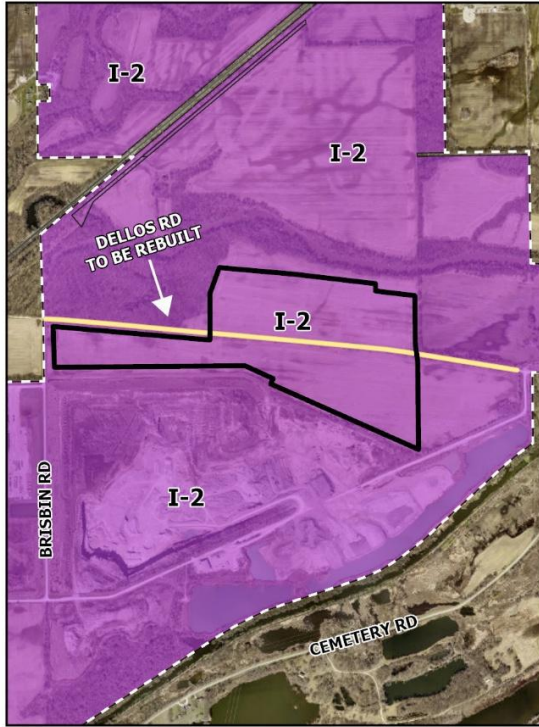
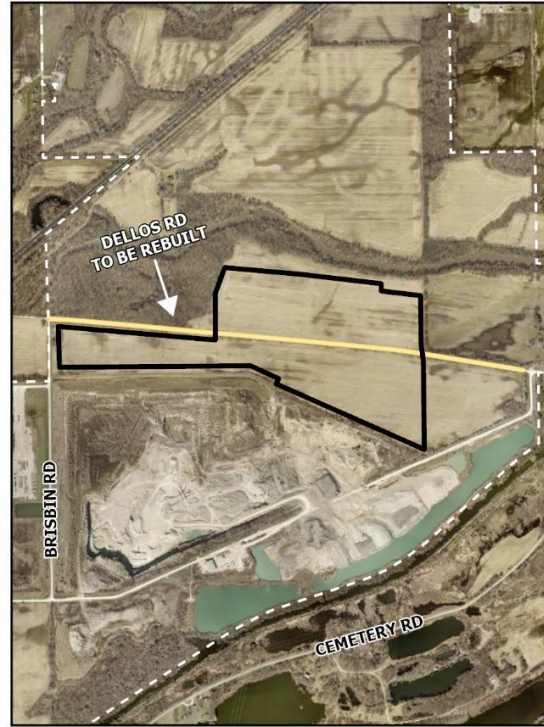
- Accommodate existing and future roadway improvements along Dellos Road
- Ensure compliance with Village roadway standards and comprehensive planning goals
- Preserve adequate space for utilities, drainage, and potential multimodal enhancements
- Support long-term traffic safety and capacity needs in the area

GENERAL INFORMATION

APPLICANT: Dellos Road Solar
LOCATION: The property is located north of the Aux Sable quarry, east of Northfield Block
PIN: 03-30-200-006
SIZE: 276
EXISTING ZONING: I-2 Intensive Industrial

ADJACENT ZONING & LAND USE:

Direction	Zoning	Jurisdiction	Use
North	I-2 Intensive Industrial	Village	Land
West	Unincorporated	County	Residential and Farmland
South	I-2 Intensive Industrial	Village	Quarry
East	I-2 Intensive Industrial	Village	Land

Zoning MapLocation Map**RELEVANT PLAN(S)**

COMPREHENSIVE PLAN DESIGNATION: Commercial

APPLICATION REQUEST(S)

- Approval Right-of-way Plat of Dedication

BACKGROUND INFORMATION

- April 2025: Dellos Road Solar was approved for a 278 acre solar development along a vacated portion of Dellos Road.

PUBLIC NOTICE SUMMARY

No public notices were required.

STAFF COMMENTS AND CONDITIONS

- Any recommendation of approval should include the condition of staff review and approval of final engineering.

STANDARDS

Standards for Review of Plats and Site Plans:

The Planning and Zoning Commission shall recommend approval and the corporate authorities shall approve a preliminary or final plat or a preliminary or final site plan, unless it makes written findings specifying the manner in which:

- (1) The design and layout of the subdivision site plan or development does not conform to the provisions of this chapter.
- (2) The applicant has not made adequate provision to install improvements required by the Planning and Zoning Commission or corporate authorities under authority of this chapter.
- (3) The final plat of subdivision or final site plan fails to comply with an approved preliminary plat of subdivision site plan or preliminary site plan.
- (4) The plat or site plan does not conform with this chapter, the Comprehensive Plan, the Official Zoning Map, the Stormwater Detention Regulations (Ch. 53), Flood Hazard Prevention (Ch. 153), Soil Erosion Regulations (Ch. 157), established village planning policies, and all other village ordinances.
- (5) The provisions for vehicular loading, unloading, parking or circulation on the parcel or onto adjacent public rights-of-way will create hazards to safety or will cause significant burdens on transportation facilities that could be avoided by modification of the plan.
- (6) The vehicular and pedestrian traffic circulation system creates hazards to safety that could be avoided by modification of the plan.
- (7) The proposed plan unnecessarily and in specified particulars destroys, damages, or detrimentally alters significant natural, topographic or physical features of the site and development.
- (8) The proposed landscaping, screening or lighting fails to provide adequate acoustical or visual privacy to incompatible adjacent uses that could be avoided by modification of the plan.
- (9) The bulk and location of proposed buildings and structures will have significant adverse impact on adjacent property and development of the parcel is not feasible in a manner that will avoid these consequences.

SUPPORTING DOCUMENTS

- Plat of Dedication

ACTION REQUESTED OF THE COMMISSION

- Review and make a Recommendation including Findings of Fact to the Village Board regarding the application for final plat.

Suggested Motion – Motion to recommend that the Village Board approve the right-of-way plat of dedication.

FROM: Scott R. McMaster, Director of Community Development
DATE: May 5, 2026
SUBJECT: Final Site Plan – Mallard Point Senior Apartments
FOR AGENDA: May 11, 2026

SUMMARY

Mallard Point Acquisition LLC is requesting approval of a final site plan for approximately 6.36 acres located within the Henneberry Farm subdivision, north of the northwest corner of West Drake Drive and South Plainview Drive. The purpose of the subdivision is to facilitate the development of a 40-unit, three-story senior housing facility intended for residents aged 55 and older.

In February 2025, the proposed development was presented to the Planning and Zoning Commission as a request to amend the Special Use Permit for the Henneberry P.U.D. Unit 8. The amendment was necessary to accommodate the proposed senior housing development. The Commission recommended approval of the request to the Village Board, which subsequently voted unanimously to approve the amendment.

In April 2026, the Village Board approved the final plat of subdivision for this development.

GENERAL INFORMATION

APPLICANT: Mallard Point Acquisition LLC (Lincoln Avenue Capital)
LOCATION: Site to the north of the NWC of W Drake Drive and S Plainview Drive
PIN: 03-13-301-005
SIZE: 6.36 acres
EXISTING ZONING: R-1 Single Family Residence (as part of the Henneberry Farm P.U.D.)
ADJACENT ZONING & LAND USE:

Direction	Zoning	Jurisdiction	Use
North	R-1 Single Family Residence	Village	Mallard Point (Henneberry Farm PUD)
West	R-1 Single Family Residence	Village	Mallard Point (Henneberry Farm PUD)
South	R-1 Single Family Residence	Village	Single Family Residence



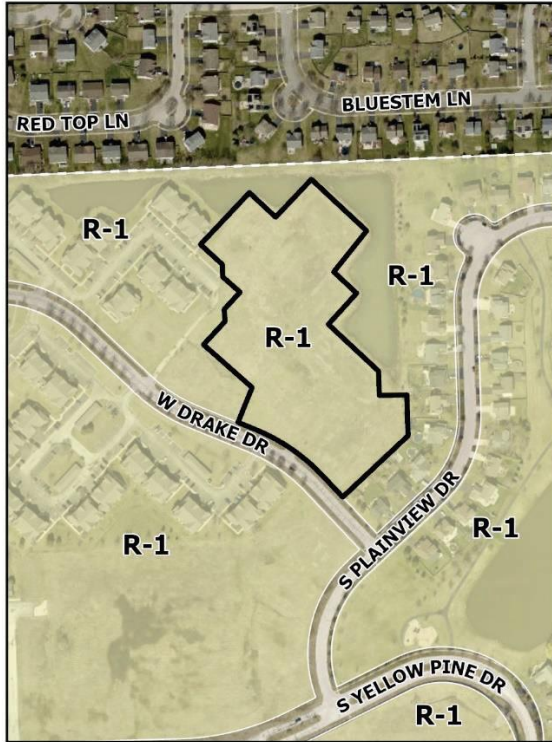
Channahon

Village of Channahon
24555 S. Navajo Dr.
Channahon, IL 60410

P 815-467-6644
F 815-467-9774

East	R-1 Single Family Residence	Village	Single Family Residence
------	-----------------------------	---------	-------------------------

Zoning Map



Location Map



RELEVANT PLAN(S)

COMPREHENSIVE PLAN DESIGNATION: Multifamily Residence

APPLICATION REQUEST(S)

- Approval of Final Site Plan

BACKGROUND INFORMATION

- November 2024 – Lincoln Avenue Capital Management presented its concept plan to positive comments from the Planning & Zoning Commission and Village Board
- February 2025 – Amendment to the Henneberry Farm PUD Unit 8 to allow for this development
- April 2026 – Approved for Final Plat

PUBLIC NOTICE SUMMARY

This request does not require the completion of public notices.

STAFF COMMENTS AND CONDITIONS

- Any recommendation of approval should include the condition of staff review and approval of final engineering.

STANDARDS

Standards for Review of Plats and Site Plans:

The Planning and Zoning Commission shall recommend approval and the corporate authorities shall approve a preliminary or final plat or a preliminary or final site plan, unless it makes written findings specifying the manner in which:

- (1) The design and layout of the subdivision site plan or development does not conform to the provisions of this chapter.
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- (9) The bulk and location of proposed buildings and structures will have significant adverse impact on adjacent property and development of the parcel is not feasible in a manner that will avoid these consequences.

SUPPORTING DOCUMENTS

- Site Plan
- Landscape Plan

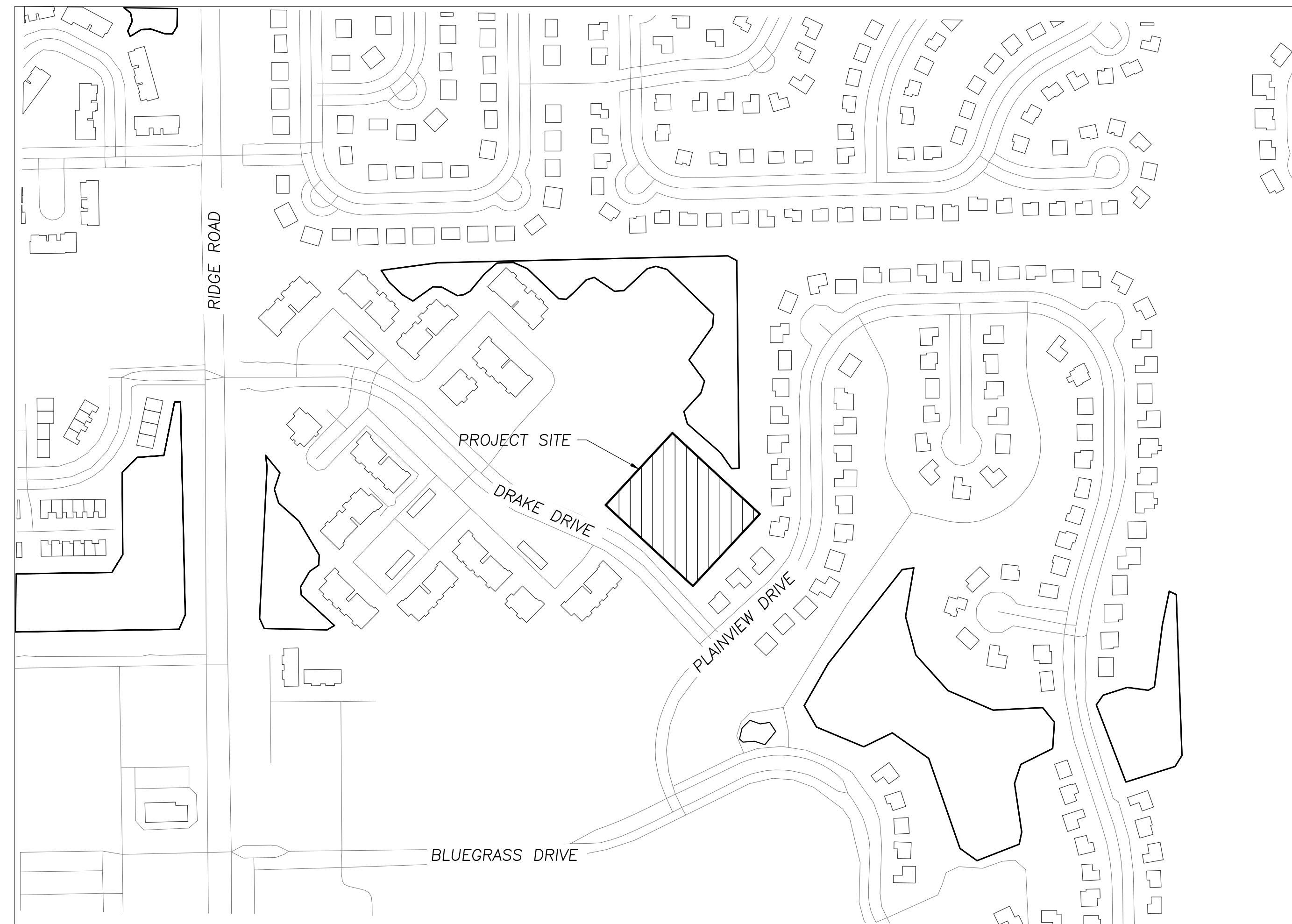
ACTION REQUESTED OF THE COMMISSION

- Review and make a Recommendation including Findings of Fact to the Village Board regarding the application for final site plan.

Suggested Motion – Motion to recommend that the Village Board approve the final site plan for Henneberry Farm PUD Unit 8 to allow for this development.

Mallard Point Senior Apartments

W Drake Drive, Channahon, IL 60661



SITE LOCATION MAP (NTS)

INDEX OF SHEETS

C000	CIVIL COVER SHEET
C001	TOPOGRAPHIC SURVEY
C100	SITE DEMOLITION PLAN
C200	SITE GEOMETRY PLAN
C300	SITE UTILITY PLAN
C400	SITE GRADING AND PAVING PLAN
C500	SITE EROSION AND SEDIMENT CONTROL PLAN
C600	SITE WORK DETAILS
C601	SITE WORK DETAILS

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By WT Group for Lincoln-Way High School District #210 on October 20, 2022.

PROJECT BENCHMARKS

NATIONAL GEODETIC SURVEY BENCHMARK MF0178
 DESCRIBED BY ILLINOIS DEPARTMENT OF TRANSPORTATION 1971
 12 MI SW FROM JOLIET, 0.55 MILE SOUTH ALONG CHICAGO
 STREET FROM THE COURT HOUSE AT JOLIET, THENCE 11.4
 MILES SOUTHWEST ALONG U.S. HIGHWAY 6, ABOUT 0.25 MILE
 SOUTHWEST OF THE JUNCTION OF A PAVED ROAD LEADING EAST
 TO CHANNAHON, ABOUT 0.1 MILE EAST OF THE WILL-GRUNDY
 COUNTY LINE, 58 FEET SOUTH OF HIGHWAY STATION 523+37 IN
 THE TOP OF THE HEADWALL OF A CONCRETE BOX CULVERT.
 THE MARK MAY ALSO BE REACHED BY GOING 1.05 MILES
 NORTH ALONG STATE HIGHWAY 47, THENCE ABOUT 10.4 MILES
 NORTHEAST ALONG U.S. HIGHWAY 6 FROM THE COURT HOUSE
 AT MORRIS, GRUNDY COUNTY.
 ELEVATION=581.40(NAVD88)

J.U.L.I.E.

Note: The Exact Location of All Utilities Shall Be Verified By
 the Contractor Prior to Construction Activities. For Utility
 Locations Call: J.U.L.I.E. 1 (800) 892-0123

MALLARD POINT SENIOR APARTMENTS

W. Drake Dr.
Channahon, IL 60661



145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2027

NO.	ISSUED FOR	DATE
3	Design Development Revisions	01.16.26
	Issued for Final PUD	02.18.26

NOT FOR CONSTRUCTION

STAMP

SHEET NAME
CIVIL COVER SHEET

PROJECT NUMBER
241005

SHEET NUMBER

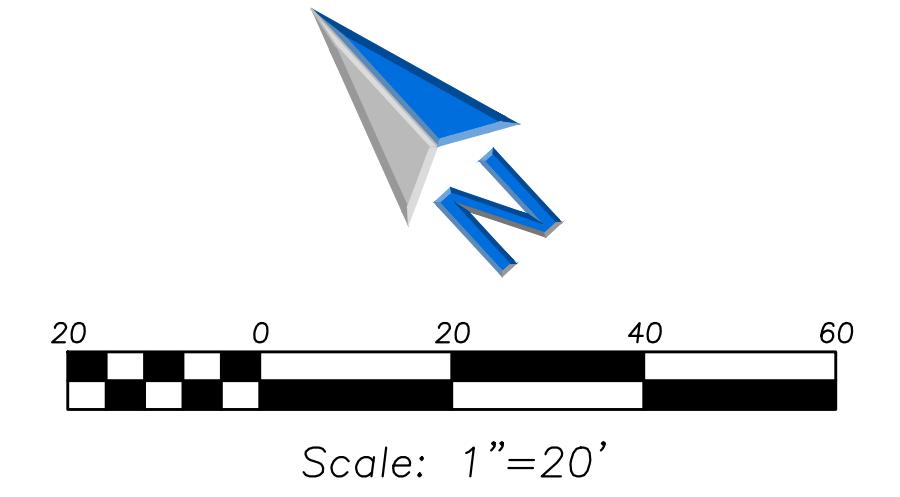
C000

DRAWN BY
KM

CHECKED BY
TB

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience Of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay Of Any Discrepancies Between The Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services For The Project Area.
- Notify The Owner, Engineer and The Village of Channahon A Minimum of 48 Hours In Advance Of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of The Work As Shown Hereon Shall Be Restored To Original Condition To The Satisfaction Of The Owner At No Additional Cost To The Owner. It Is Incumbent Upon Contractor To Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) To Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

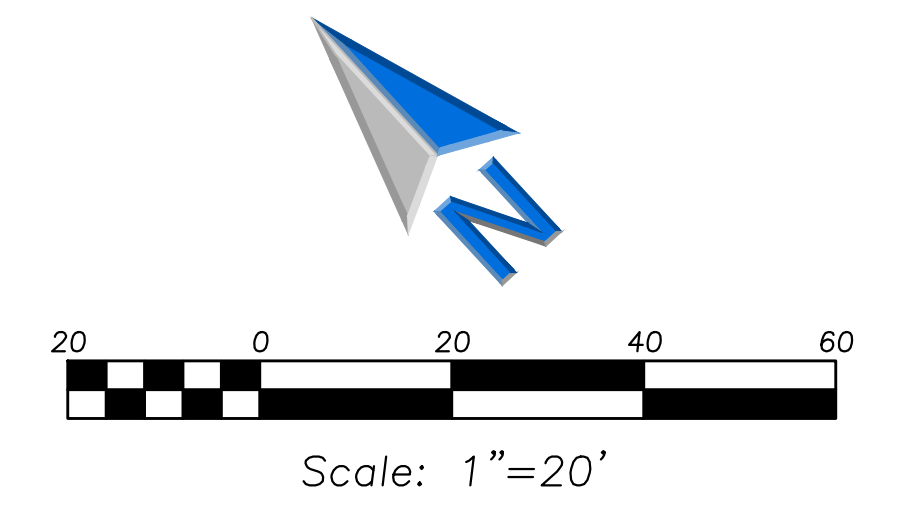


LEGEND

EXISTING	PROPOSED

GENERAL NOTES

- 1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information...

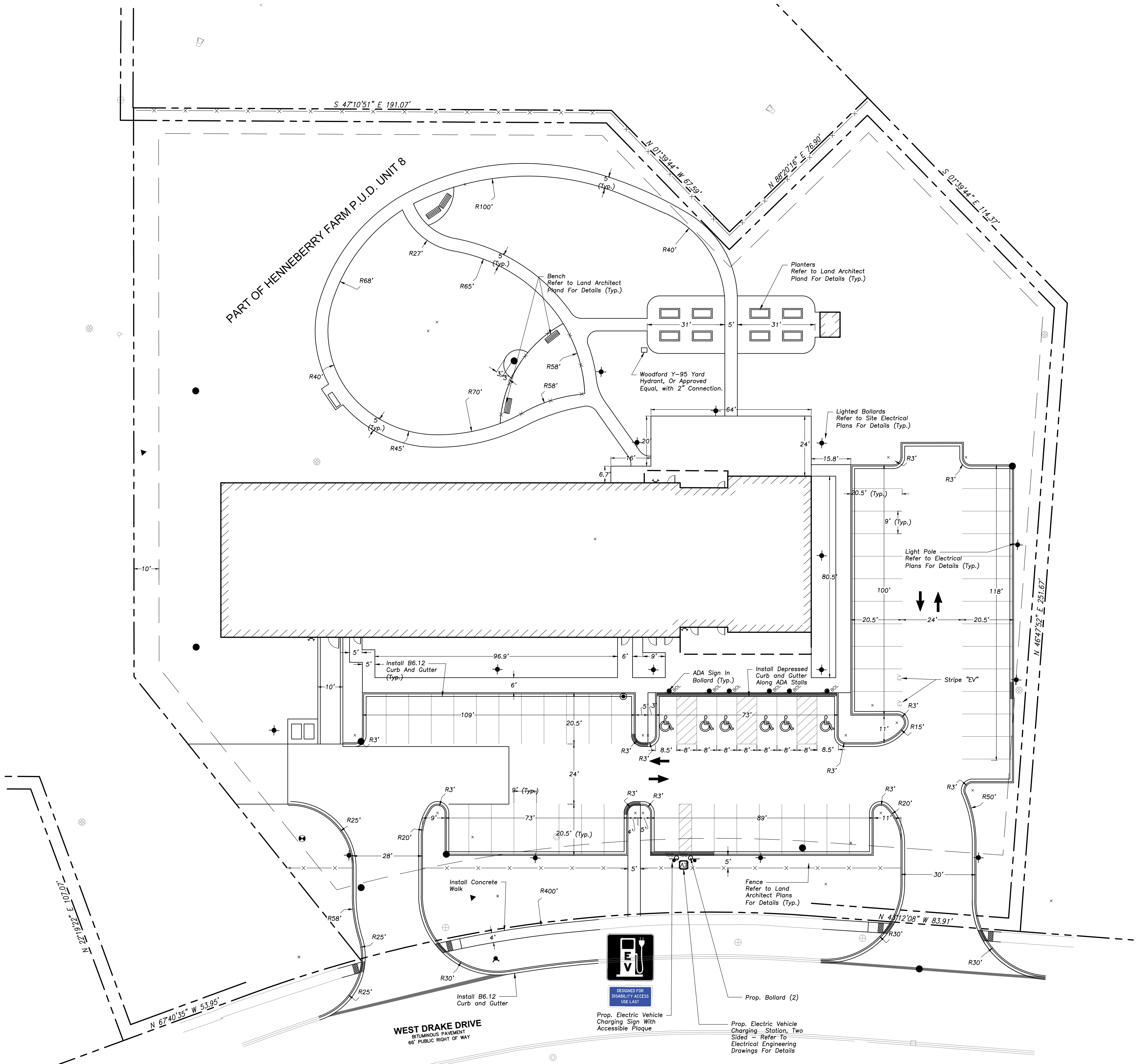


LEGEND

Table with two columns: EXISTING and PROPOSED. It lists various symbols for utilities, structures, and site features like manholes, drainage structures, and fences.

GEOMETRY NOTES

- 1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.



Vertical text on the left margin: EEA - \\EEA-MAS\Projects\25147 - Lincoln Ave - Mallard Point Sr. Apts SITE PLAN.dwg

MALLARD POINT SENIOR APARTMENTS

W. Drake Dr. Channahon, IL60661



145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804...

Table with columns: NO., ISSUED FOR, DATE. It shows revision history for the design development.

NOT FOR CONSTRUCTION

STAMP

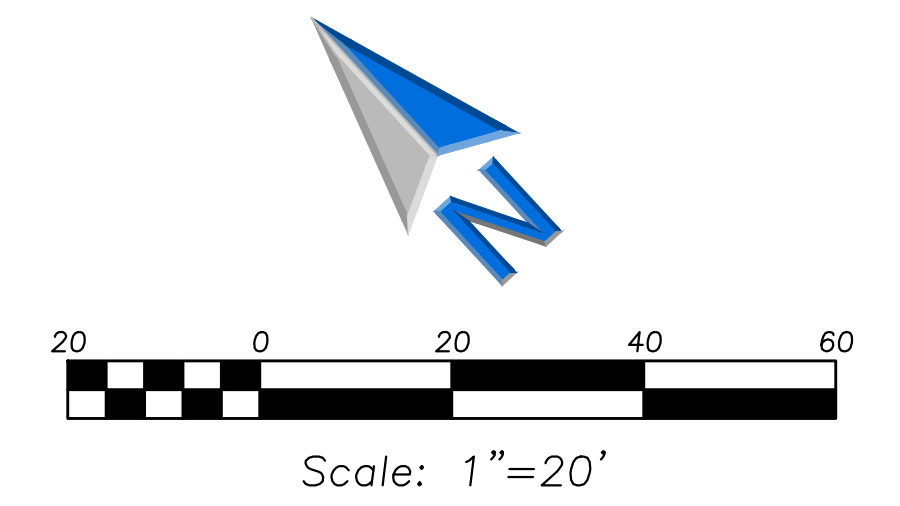
SHEET NAME: SITE GEOMETRY PLAN

PROJECT NUMBER: 241005 SHEET NUMBER: C200

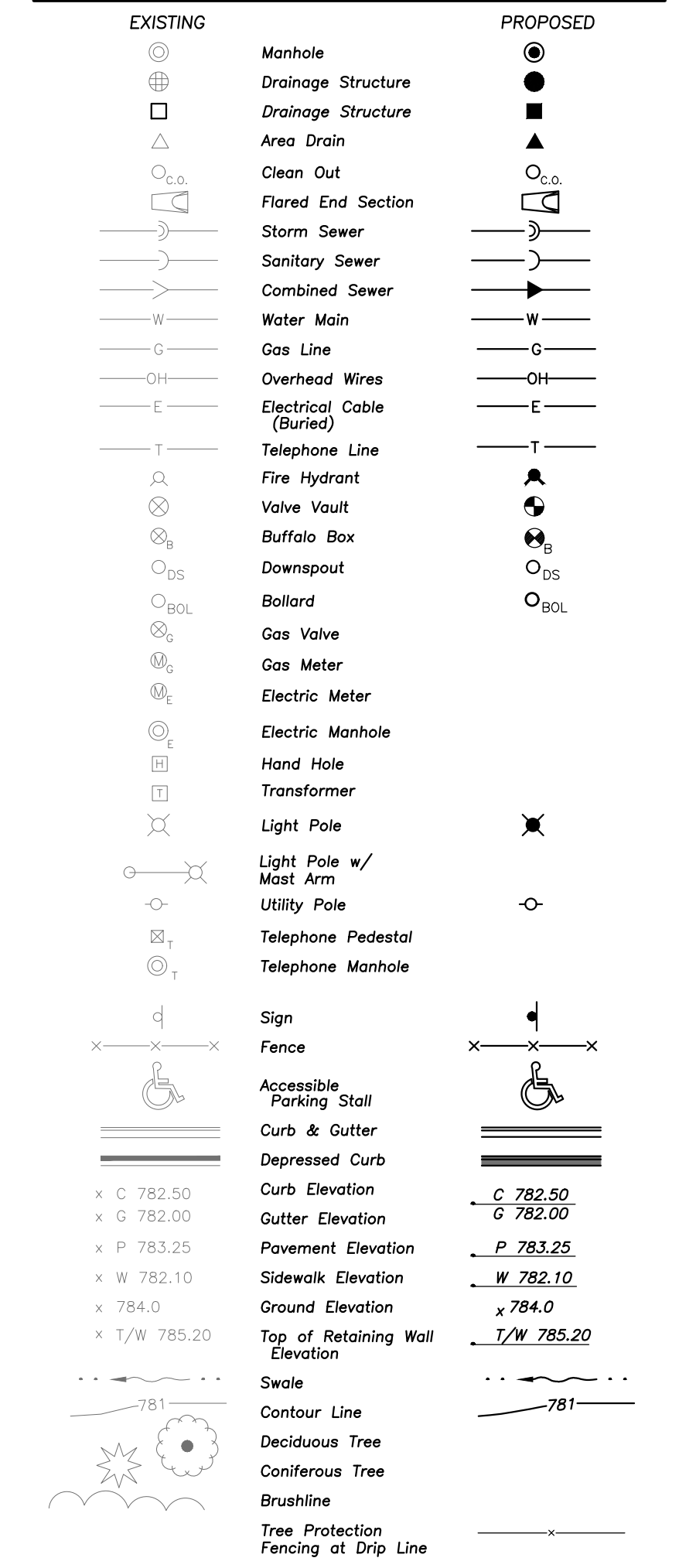
DRAWN BY: KM CHECKED BY: TB

GENERAL NOTES

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- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction, Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



LEGEND

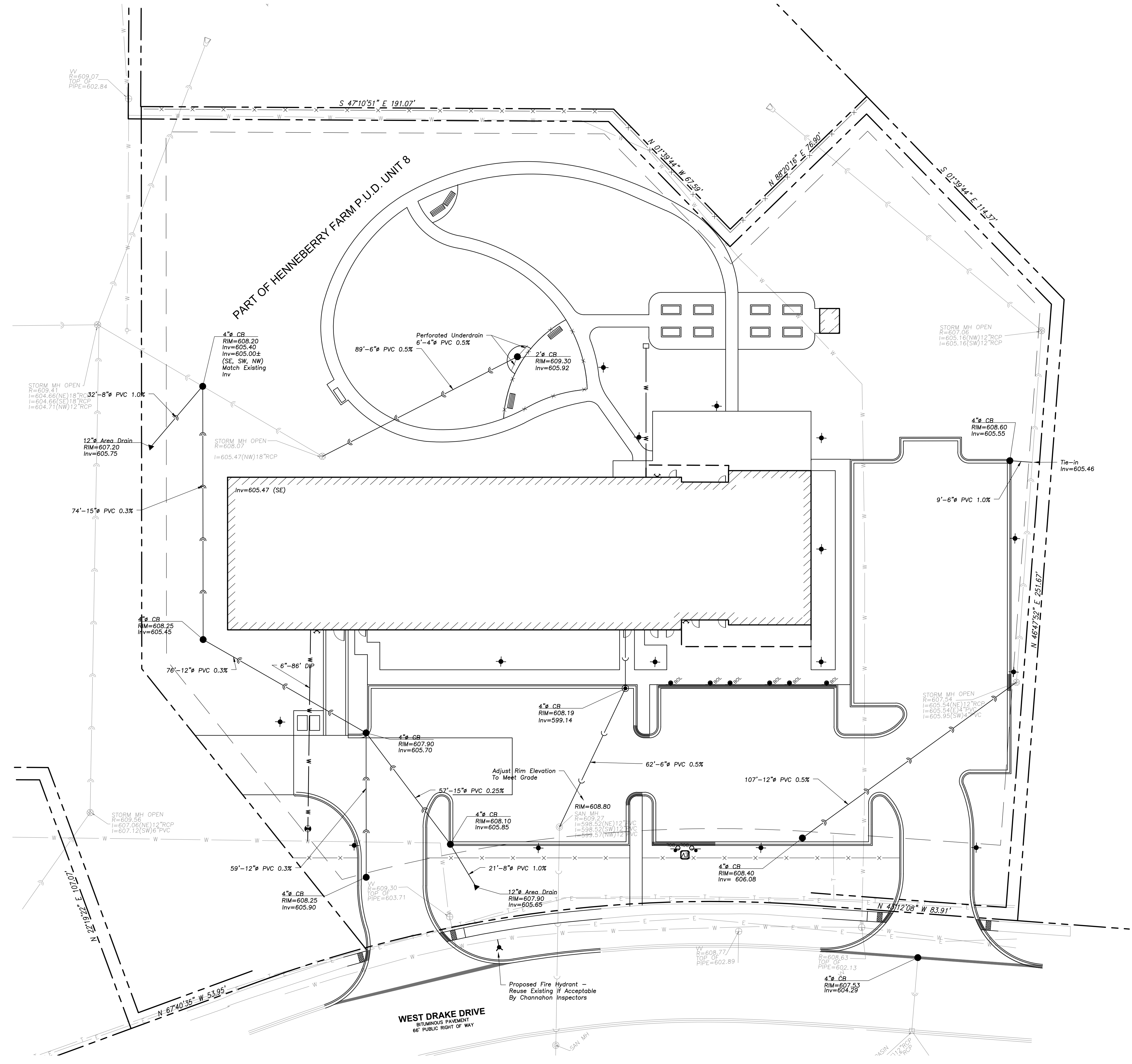


UTILITY NOTES

- This Project Is Located In A Separate Sewer Area.
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary, Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if the Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of Water Supplies Shall Be As Described In Section 370.350 Of The Illinois Recommended Standards For Sewage Works Or Section 41-2.01 Of The Standard Specifications For Water and Sewer Main Construction in Illinois, Latest Edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Adjust Frame Elevations of All Structures Located Within The Limits of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.
- Obtain As-Built Information For All Pipes, In Accordance With As-Built Document Requirements, Prior To The Installation Of Any Inlet Hoods Or Trash Racks.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, It is Intended That the Frame of the Structure Is To Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Flared End Sections 12" and Larger Shall include an IDOT Standard Grate.
- All Flared End Sections Shall Be Concrete.
- All Sanitary Manholes Shall include a Chimney Seal.



MALLARD POINT SENIOR APARTMENTS

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EXPIRES: 04/30/2027

NO.	ISSUED FOR	DATE
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	Issued for Final PUD	02.18.26

NOT FOR CONSTRUCTION

STAMP	SHEET NAME
	SITE UTILITY PLAN

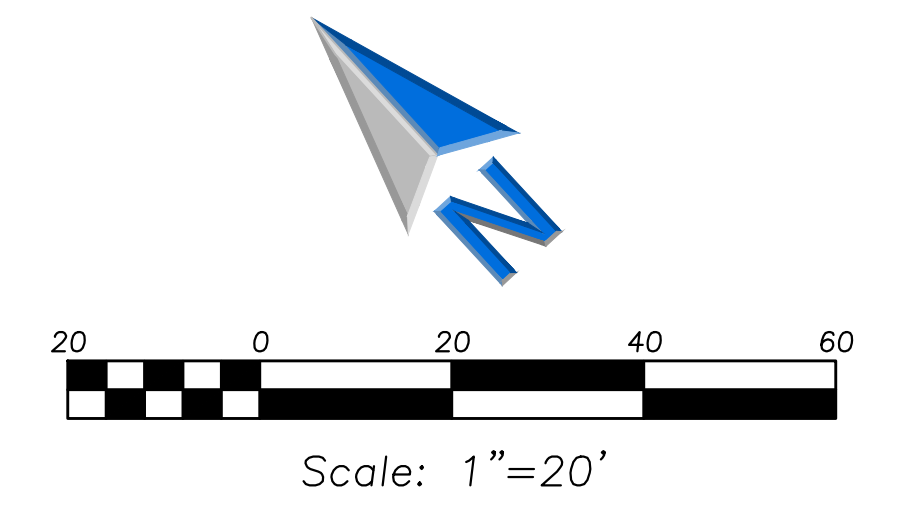
PROJECT NUMBER	SHEET NUMBER
241005	C300

DRAWN BY	CHECKED BY
KM	TB

EEA - \\EEA-MAS\Projects\25147 - Lincoln Ave - Mallard Point Sr. Apts SITE PLAN.dwg
 Plotted: 2/18/26 @ 4:42pm By: kmorales

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience Of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay Of Any Discrepancies Between The Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Channahon A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition To The Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
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- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



LEGEND

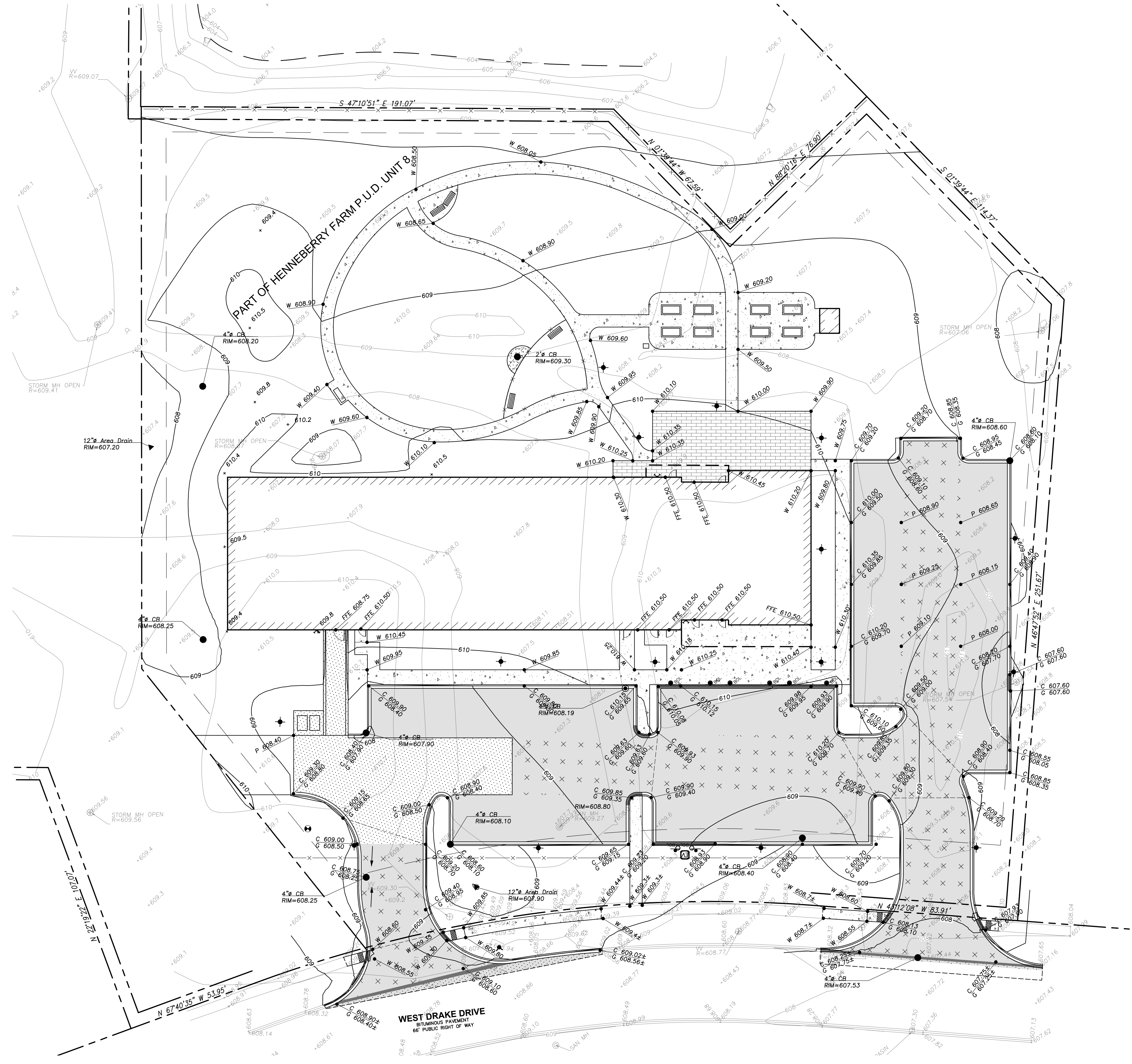
EXISTING	PROPOSED
Manhole	Manhole
Drainage Structure	Drainage Structure
Drainage Structure	Drainage Structure
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electric Cable (Buried)	Electric Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Fluoride Box	Fluoride Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Electric Manhole	Electric Manhole
Hand Hole	Hand Hole
Transformer	Transformer
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
- Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall Be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
- Adjust Frame Elevations Of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.

PAVING & SURFACE LEGEND

	Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50 2 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 8" Aggregate Base Course, Type B, Crushed, CA-6 Non-Woven Geotextile Fabric, 5 oz/sy
	Concrete Driveway Section 8" Portland Cement Concrete Curing and Sealing Compound 6"x6" W2.9xW2.9 Welded Wire Fabric 6" Aggregate Base Course, Type B, Crushed
	Concrete Sidewalk Section 5" Portland Cement Concrete Curing and Sealing Compound 6"x6" W1.4xW1.4 Welded Wire Fabric 4" Aggregate Base Course, Type B, Crushed
	Pavement Restoration in Public Way See Detail
	Brick Paver Section See Landscape Plans for Section Details
	River Rock
	Heavy-Duty Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50 3 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 6" Aggregate Base Course, Type B, Crushed, CA-6 Non-Woven Geotextile Fabric, 8 oz
	Ridge Line/High Point



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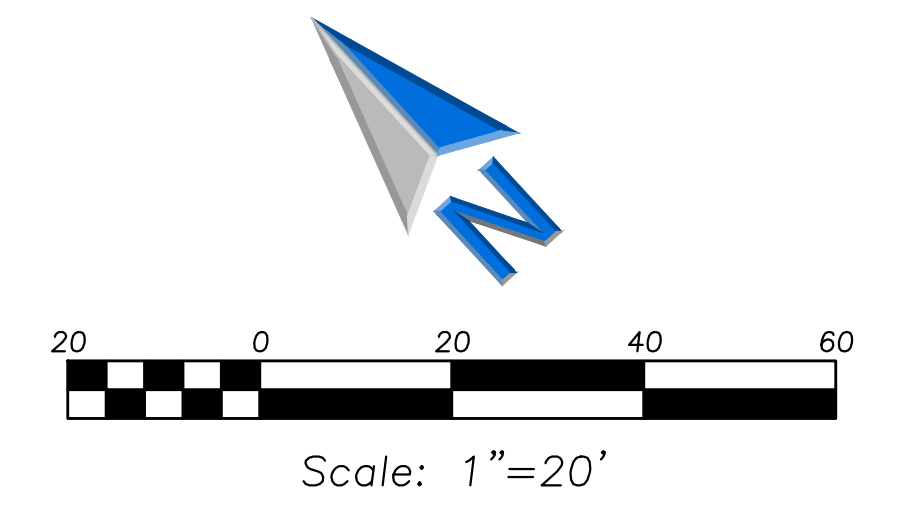
NOT FOR CONSTRUCTION

STAMP	SHEET NAME	PROJECT NUMBER	SHEET NUMBER
	GRADING AND PAVING PLAN	241005	C400
		DRAWN BY: KM	CHECKED BY: TB

EEA - \\EEA-MAS\Projects\25147 - Lincoln Ave - Mallard Point Sr. Apts SITE PLAN.dwg
 Plotted: 2/18/26 @ 5:01pm By: kmorales

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LEGEND

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Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
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Downspout	Downspout
Ballard	Ballard
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Gas Meter	Gas Meter
Electric Meter	Electric Meter
Electric Manhole	Electric Manhole
Hand Hole	Hand Hole
Transformer	Transformer
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
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Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

SOIL EROSION & SEDIMENTATION CONTROL NOTES

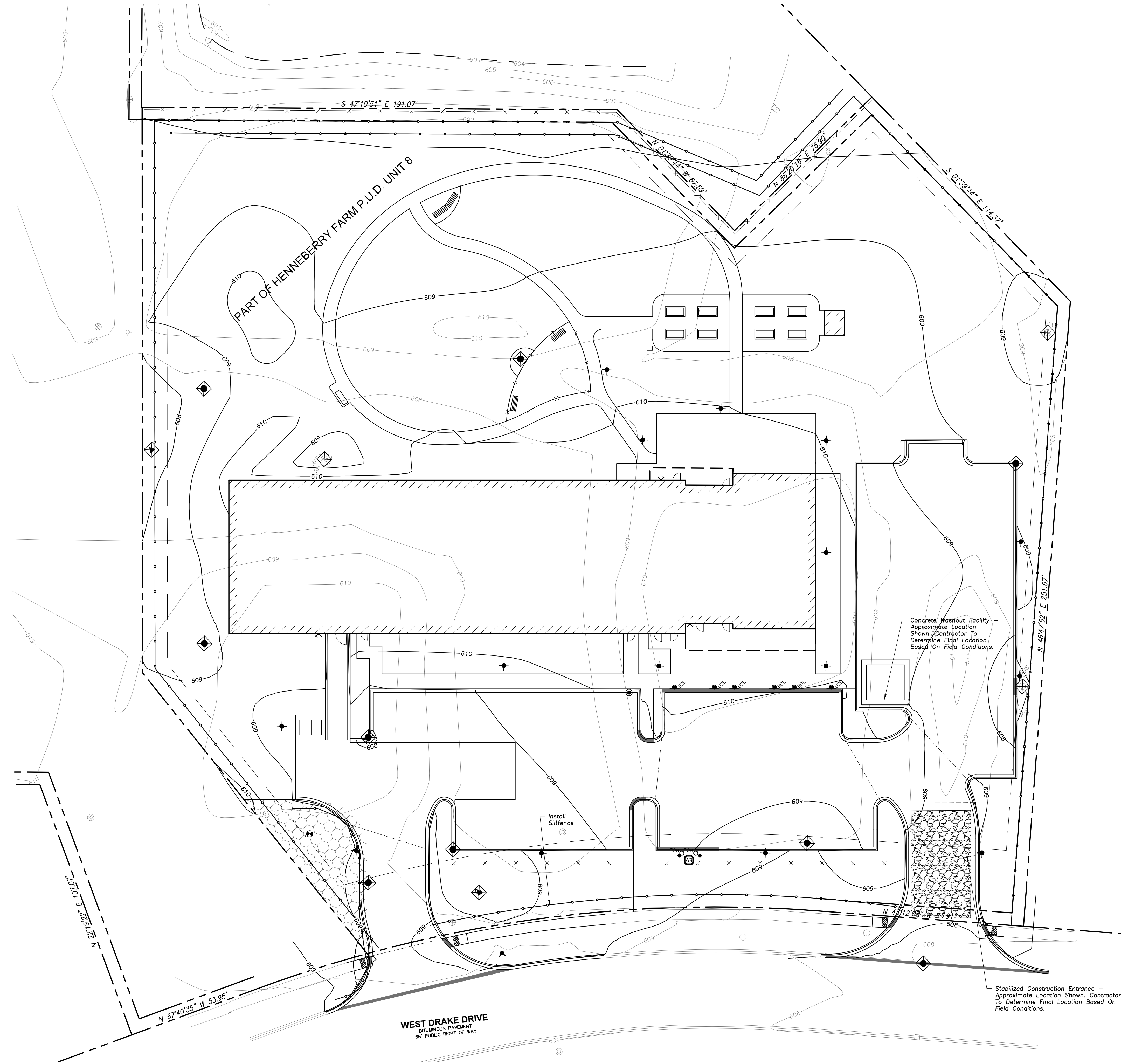
- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Contractor Shall Be Responsible For Compliance With IEPA NPDES and ILR10 Permit Requirements for Project.
- Soil Disturbance Shall Be Conducted In Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site Is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- All Temporary and Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization is Defined By The EPA General Permit as Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal) In Paved Areas To Prevent Siltation.
- All Temporary and Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II Requirements.
- Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", The Permittees Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final Stabilization.
- Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- Contractor Shall Provide Qualified Soil Erosion and Sediment Control Inspector Services In Accordance with NPDES and Governmental Requirements. Inspections Shall Occur at Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Copied on Inspection Logs.
- The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
- Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with IEPA NPDES Requirements.
- All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- If Necessary, The SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No ILR10 and Local and County Permits.
- Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water Into Storm Sewers Tributary to Open Water.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

Silt Fence	Silt Fence
Erosion Control Ditch Check	Erosion Control Ditch Check
Catch-All, Park Chop Sedguard (or equal) Paved or Existing Stabilized Areas	Catch-All, Park Chop Sedguard (or equal) Paved or Existing Stabilized Areas
Erosion Eel (Temporary Silt Barrier Paved Areas - Location by Contractor Dependent on Construction Sequencing/Phasing)	Erosion Eel (Temporary Silt Barrier Paved Areas - Location by Contractor Dependent on Construction Sequencing/Phasing)

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

- Install Stabilized Construction Entrance
- Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
- Do Not Disturb An Area Until It is Necessary For Construction To Proceed.
- Cover and Stabilize Disturbed Areas As Soon As Possible.
- When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.
- Construct Sedimentation Basins and Structures.
- Perform Grading Operations and Installation of Site Infrastructure and Pavement.
- Install Permanent Seeding and Plantings.
- Remove Accumulated Sediment From Basins and Along Silt Fence.
- Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
- Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.



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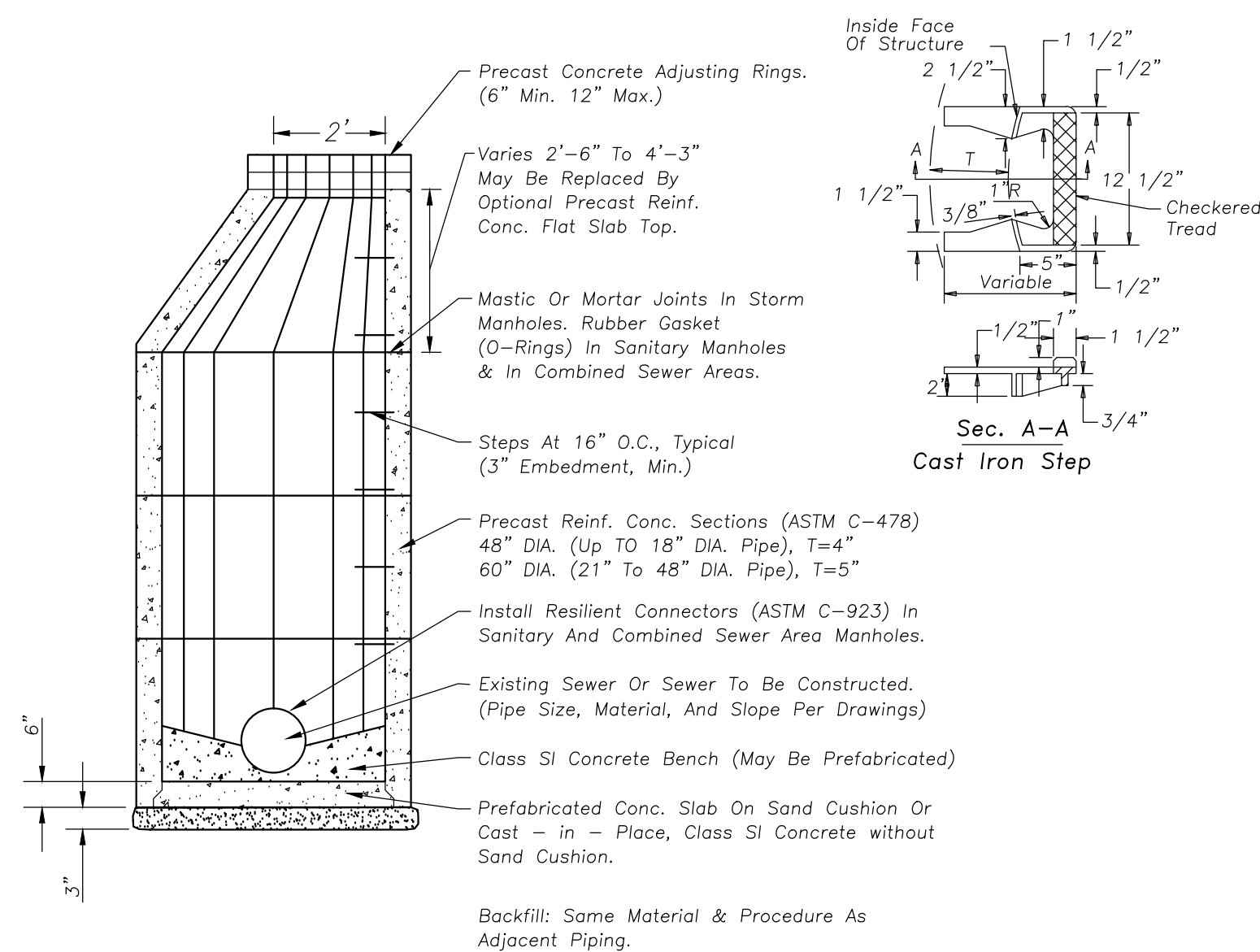
NO.	ISSUED FOR	DATE
3	Design Development Revisions Issued for Final PUD	01.16.26 02.18.26

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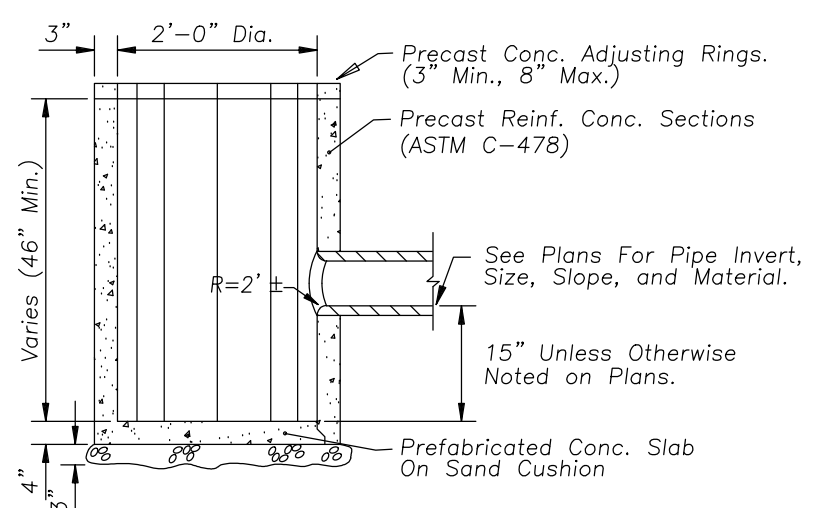
SITE EROSION AND SEDIMENT CONTROL PLAN

PROJECT NUMBER	SHEET NUMBER
241005	C500
DRAWN BY	CHECKED BY
KM	TB

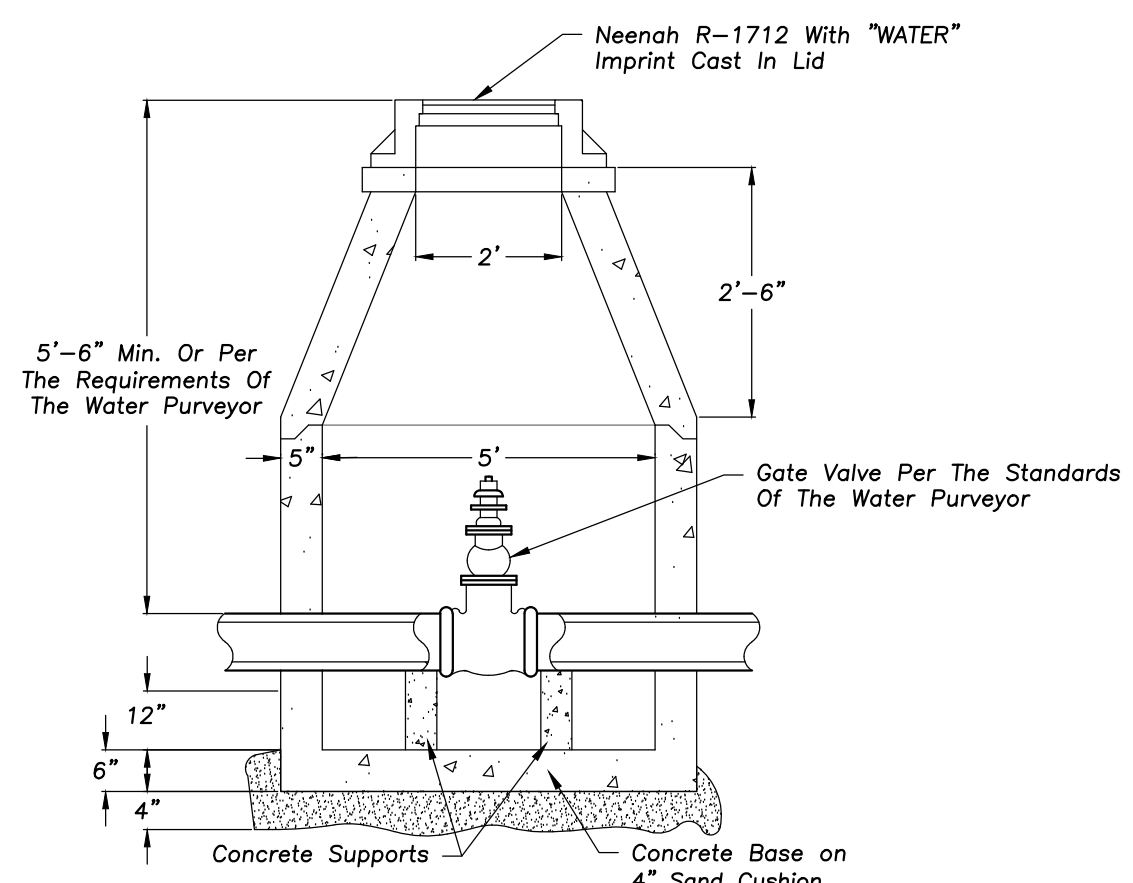
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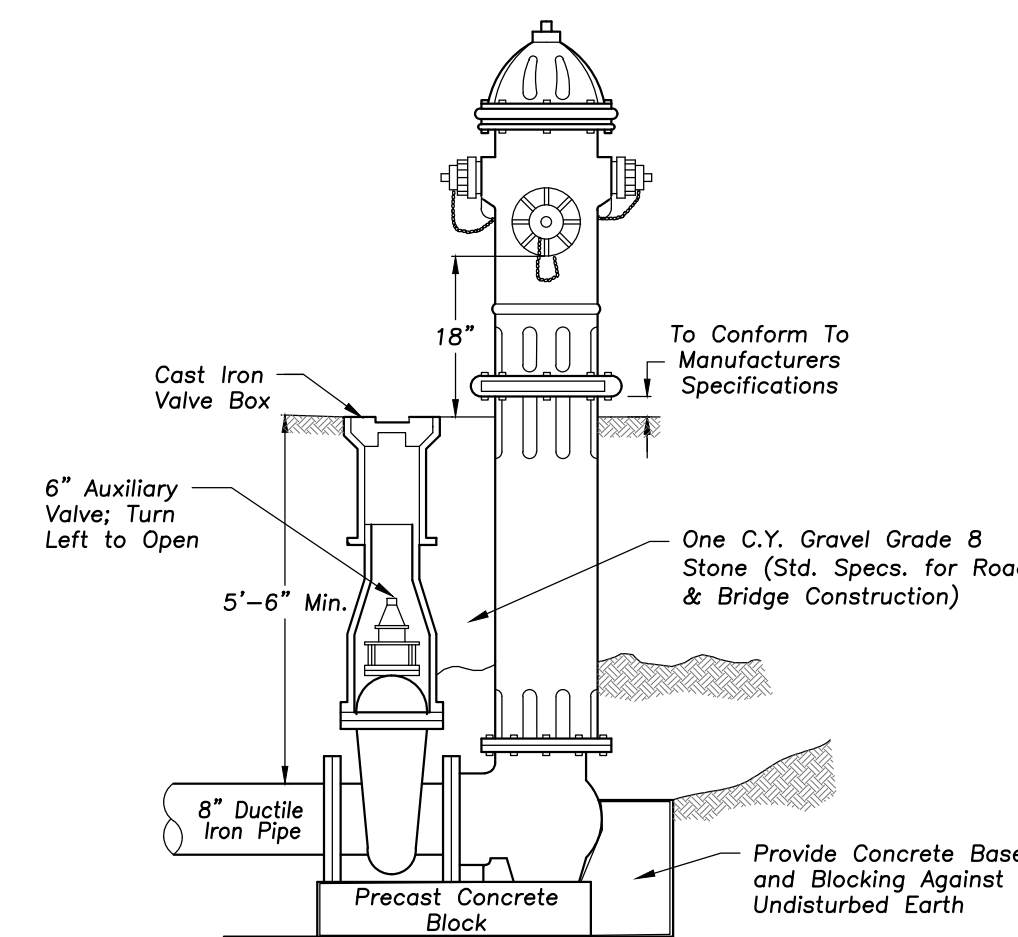
MANHOLE - 48"-60" DIA.



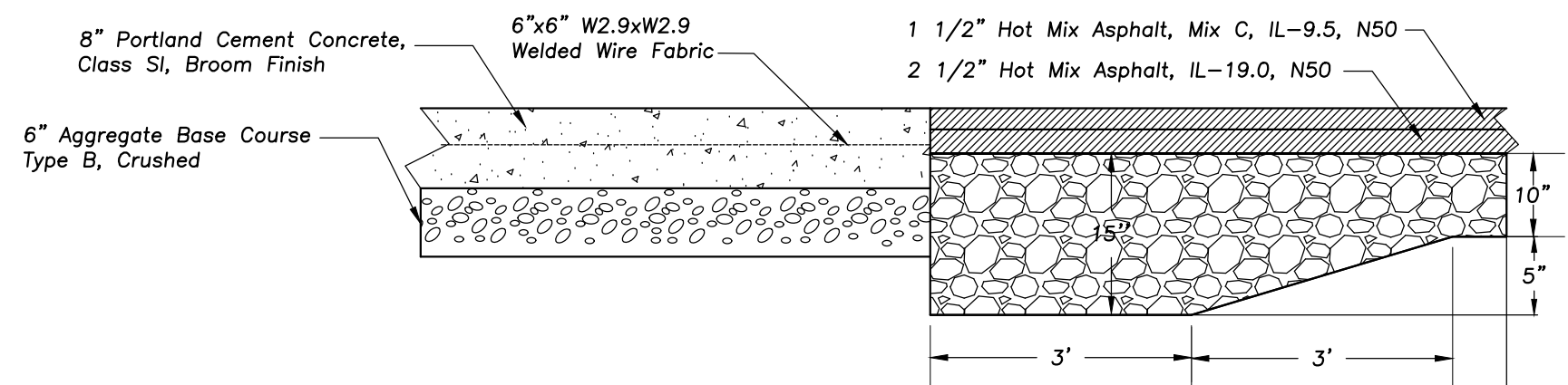
CATCH BASIN - 2' DIA.



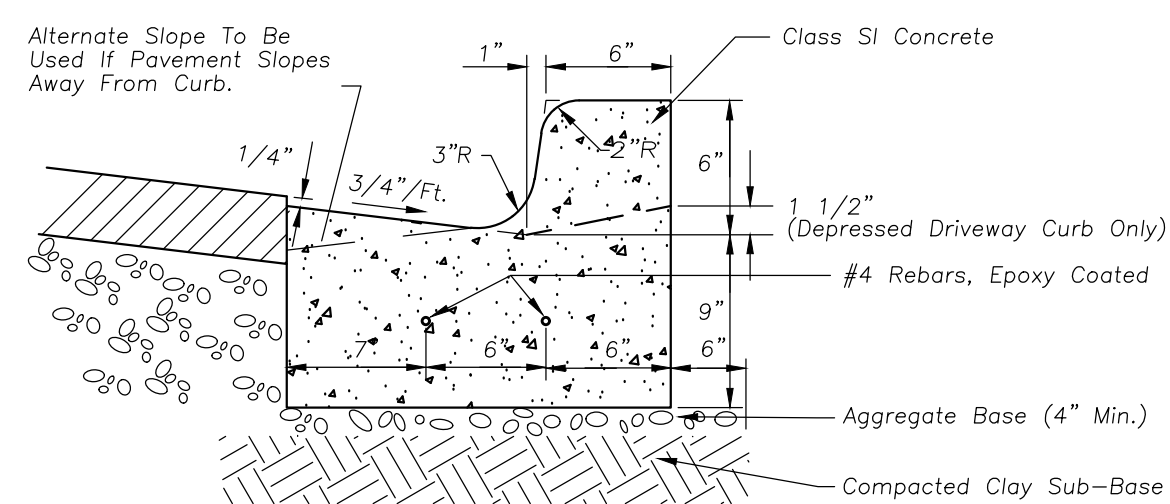
WATER VALVE VAULT



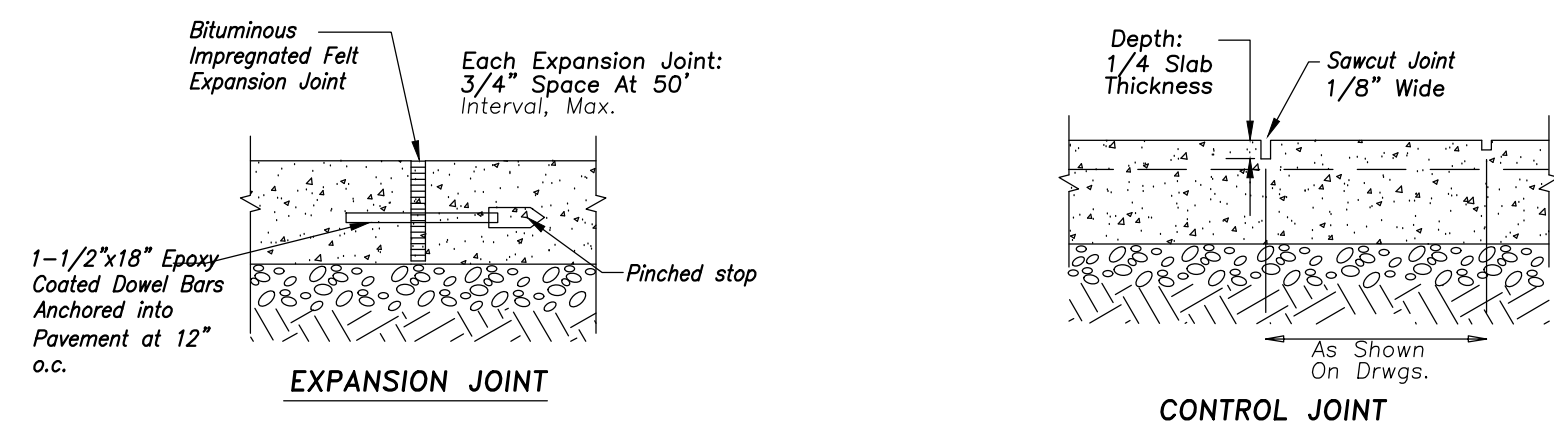
HYDRANT INSTALLATION



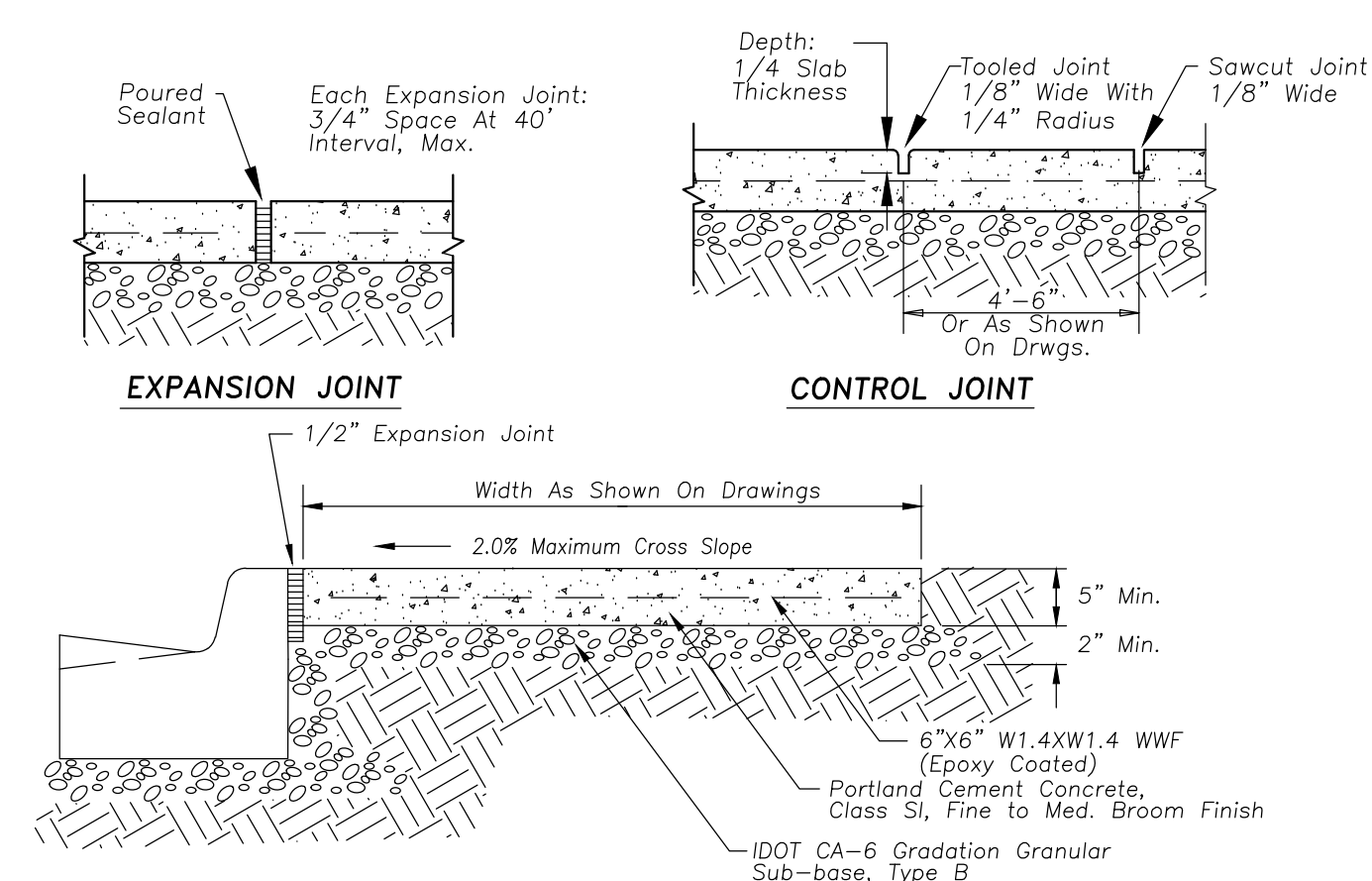
CONCRETE TO ASPHALT CHANGE OF PAVEMENT SECTION



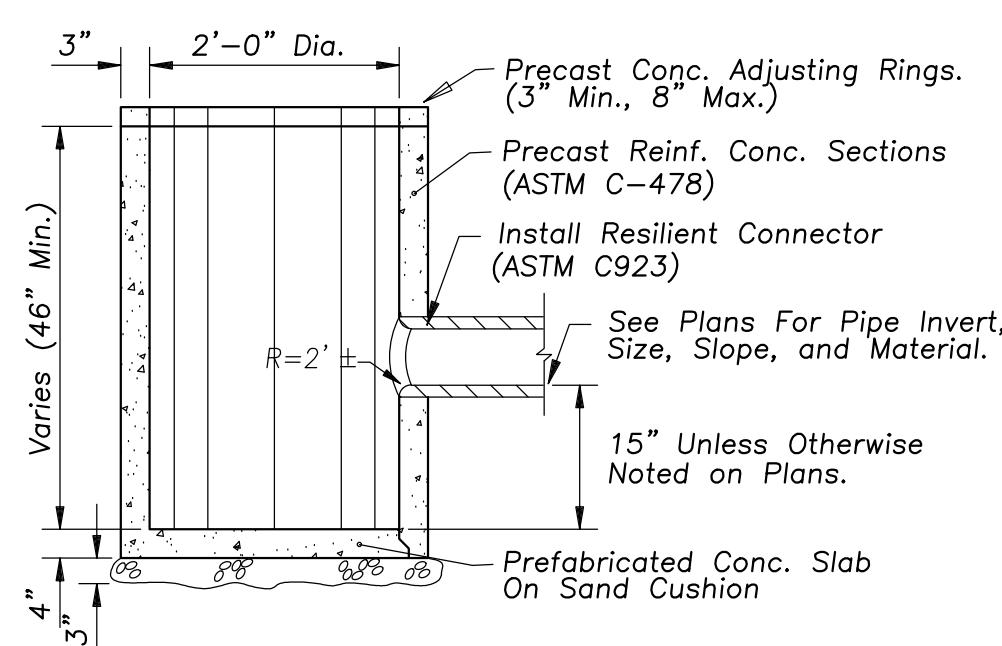
B-6.12 CURB & GUTTER



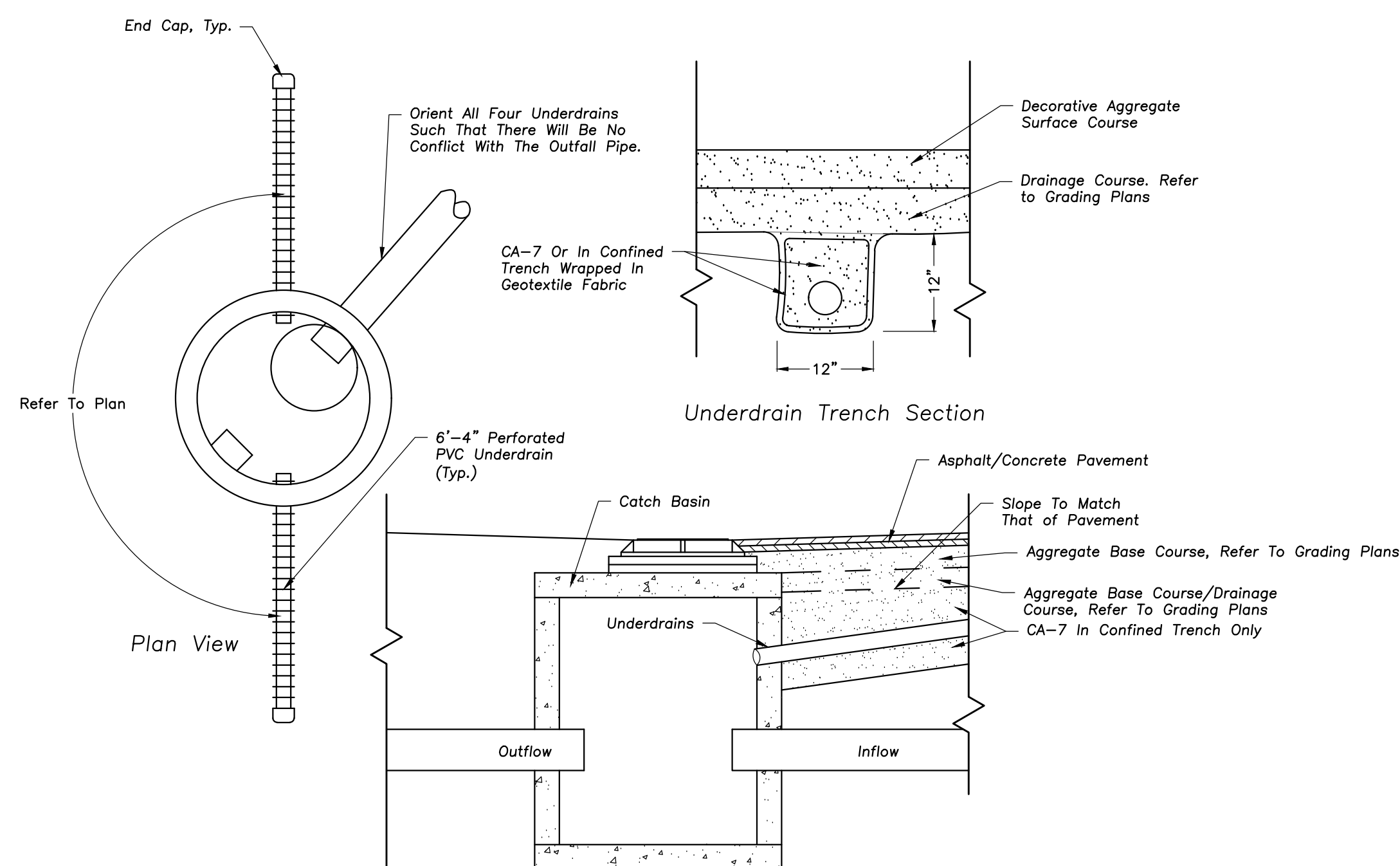
CONCRETE PAVEMENT DETAILS



PORTLAND CEMENT CONC. SIDEWALK



2'Ø CATCH BASIN NORTH OF DOG RUN



Profile Of Typical Connection
(UNDERDRAINS TO BE INSTALLED IN PAVED AREAS)

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SHEET NAME
SITE WORK DETAILS

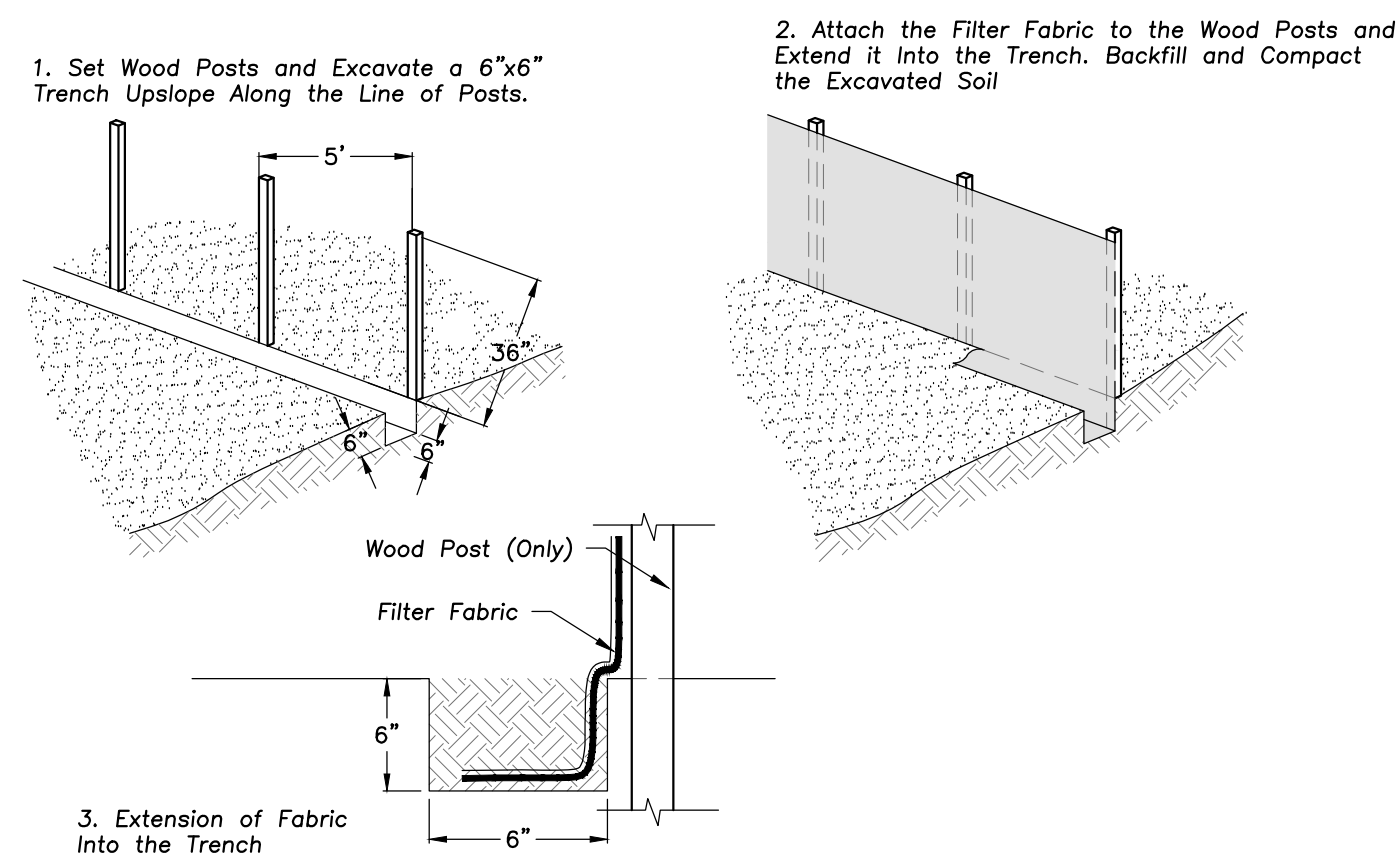
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241005

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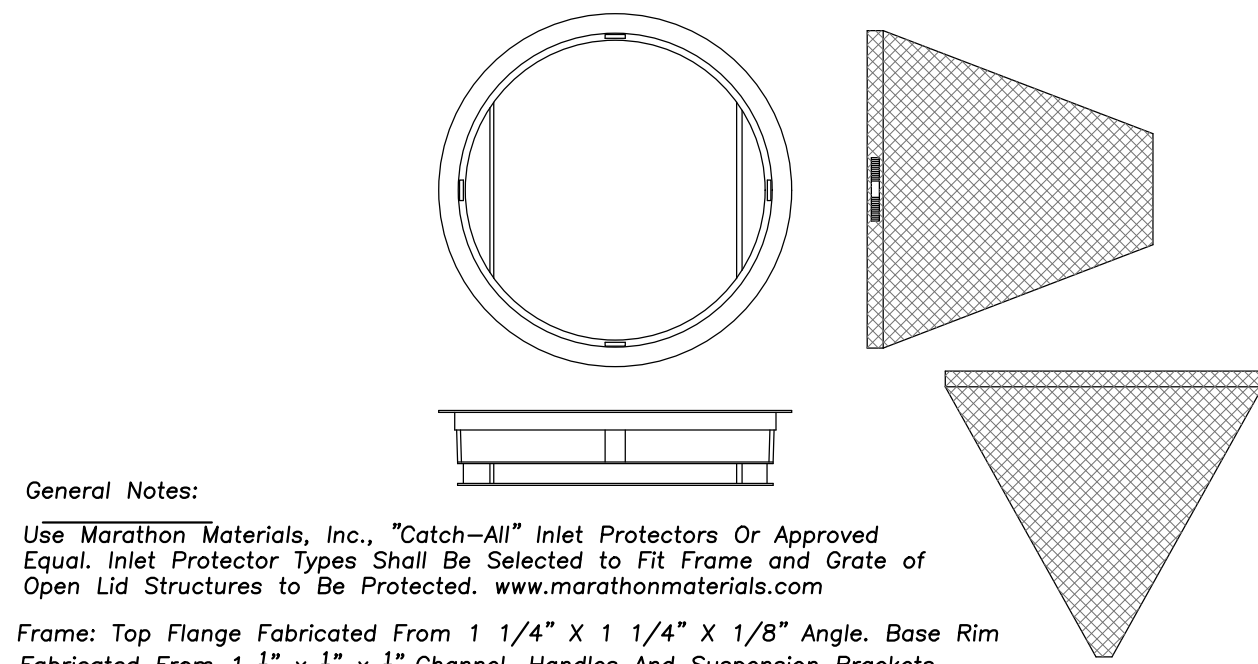
DRAWN BY
KM

CHECKED BY
TB

C600



SILT FENCE CONSTRUCTION (AASHTO 288-00)



General Notes:

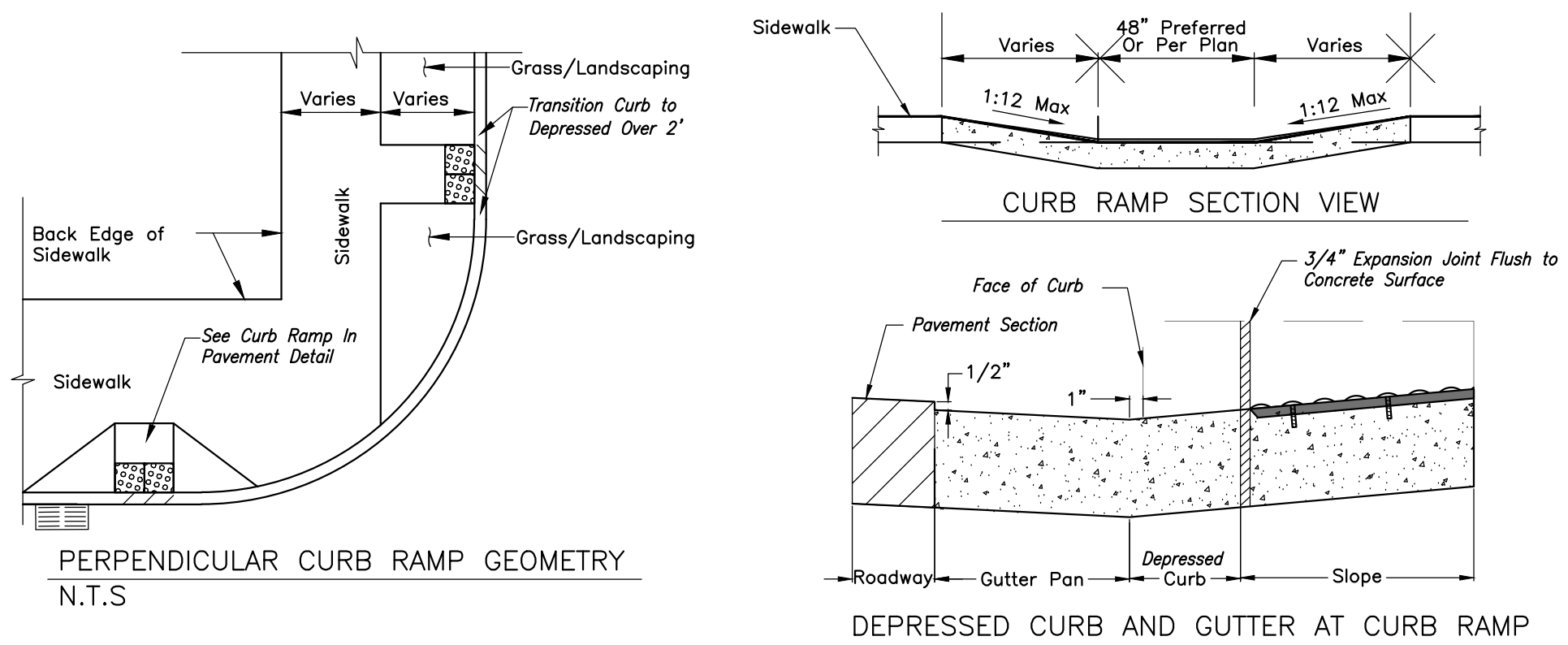
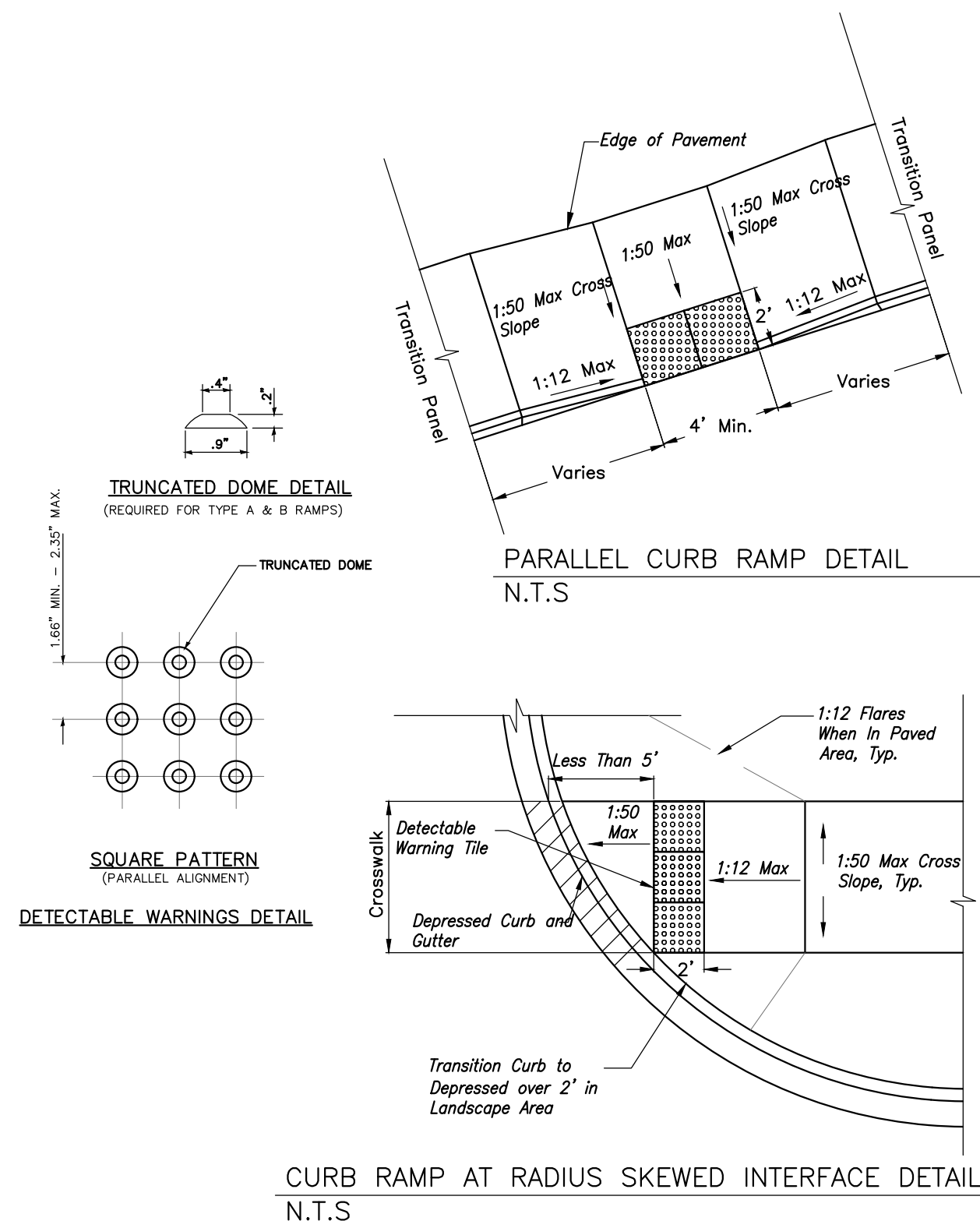
Use Marathon Materials, Inc., "Catch-All" Inlet Protectors Or Approved Equal. Inlet Protector Types Shall Be Selected to Fit Frame and Grate of Open Lid Structures to Be Protected. www.marathonmaterials.com

Frame: Top Flange Fabricated From 1 1/4" X 1 1/4" X 1/8" Angle. Base Rim Fabricated From 1 1/2" x 1/2" x 3/8" Channel. Handles And Suspension Brackets Fabricated From 1 1/4" x 1/2" Flat Stock. All Domestic Steel Conforming To ASTM-A36

Sediment Bag: Bag Fabricated From 4 Oz./sq.yd. Non-woven Polypropylene Geotextile Reinforced With Polyester Mesh. Bag Secured to Base Rim With A Stainless Steel Strap And Lock.

Install Baskets In All Existing Storm Inlets Prior to Construction And All New Storm Inlets Immediately After Installation. Contractor Shall Maintain Throughout Construction Activities.

INLET PROTECTORS - SEDIMENT BAG



GENERAL NOTES

Description: This work shall consist of constructing sidewalk curb ramps with detectable warnings in compliance with the Americans with Disabilities Act, Accessibility Guidelines (ADAAG). The detectable warnings shall consist of an area of truncated domes that provide both visual and tactile cues to pedestrians who are about to enter into traffic.

The detectable warnings shall present a contrast in color from the adjacent sidewalk.

Construction Requirements:

- Ramps Shall Be Located As Shown On Plans In Alignment With Normal Sidewalk And/or Crosswalk And Shall Have Sufficient Curb Length At Corner Radius To Prevent Vehicular Encroachment.
- Curb Ramps At Marked Crossings Shall Be Wholly Contained Within The Markings Excluding Flared Sides.
- In No Case Shall Expansion Joints That Are Constructed In Curbs And Gutters At Or Near Corner Radiuses Be Located Within The Accessible Ramp Area.
- Where Preformed Joint Filler (p.j.f.) Is Installed Against A Curved Surface, The Contractor Shall Use A Flexible Filler In Accordance With The Illinois Department Of Transportation (IDOT) Standard Specifications.

Equipment: Equipment for the detectable warning area of the curbs shall meet the requirements of DETECTABLE WARNING SURFACE TILES

Provide Surface Applied Detectable/Tactile Warning Surface Tiles which comply with the detectable warnings on walking surfaces section of the Americans with Disabilities Act (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2

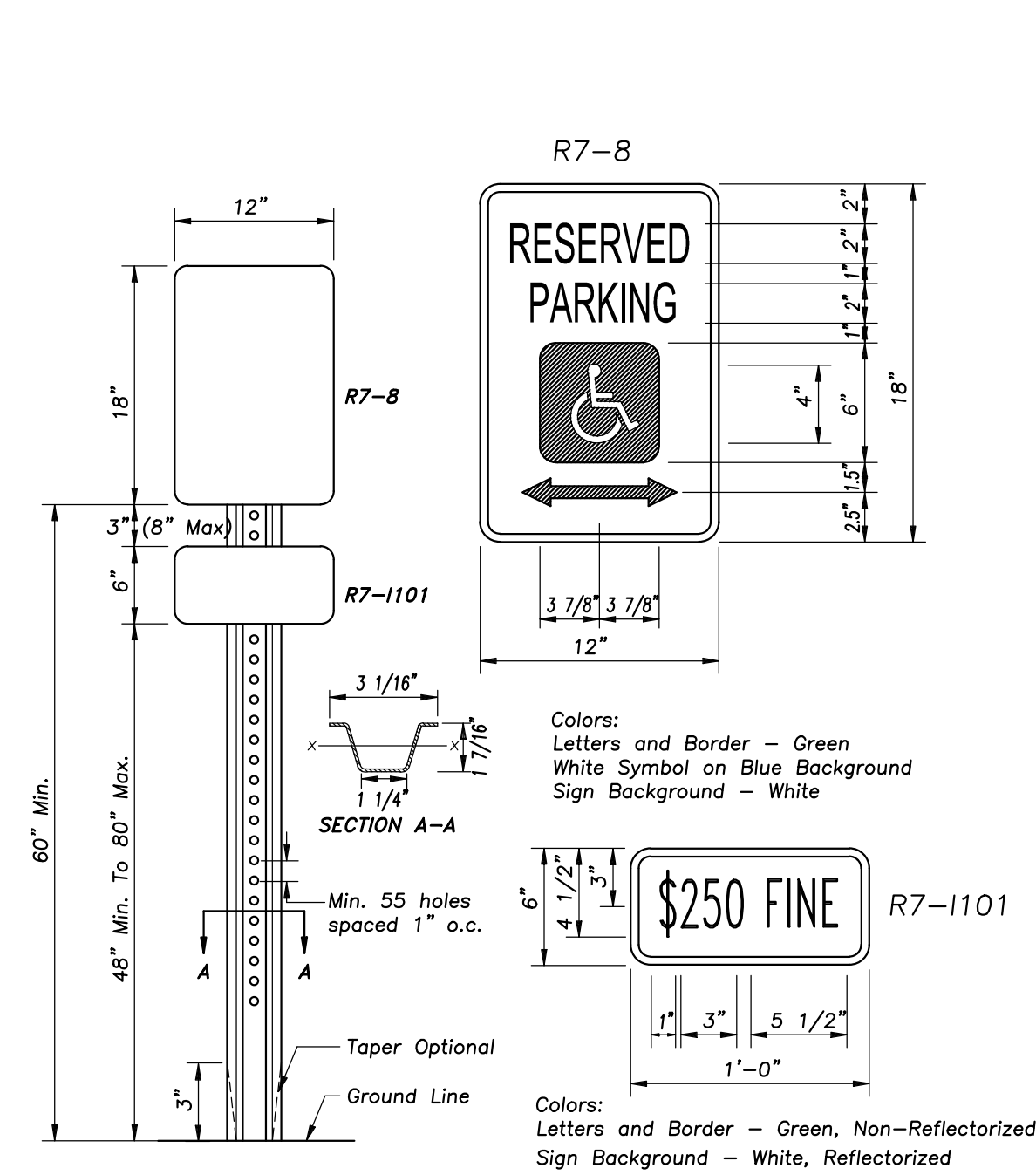
Dimensions: Cast In Place Detectable/Tactile Warning Surface Tiles shall be held within the following dimensions and tolerances:
Length and Width in One of the Following as Necessary for the Dimensions of the Surface in Which the Detectable Warning is Proposed: 12x12 24x24 24x36 24x48 24x60 36x48 36x60 nominal. No Cutting of Tiles is Allowed.

Installation of Detectable/Tactile Warning Surface Tiles Per Manufacturer's Instructions.

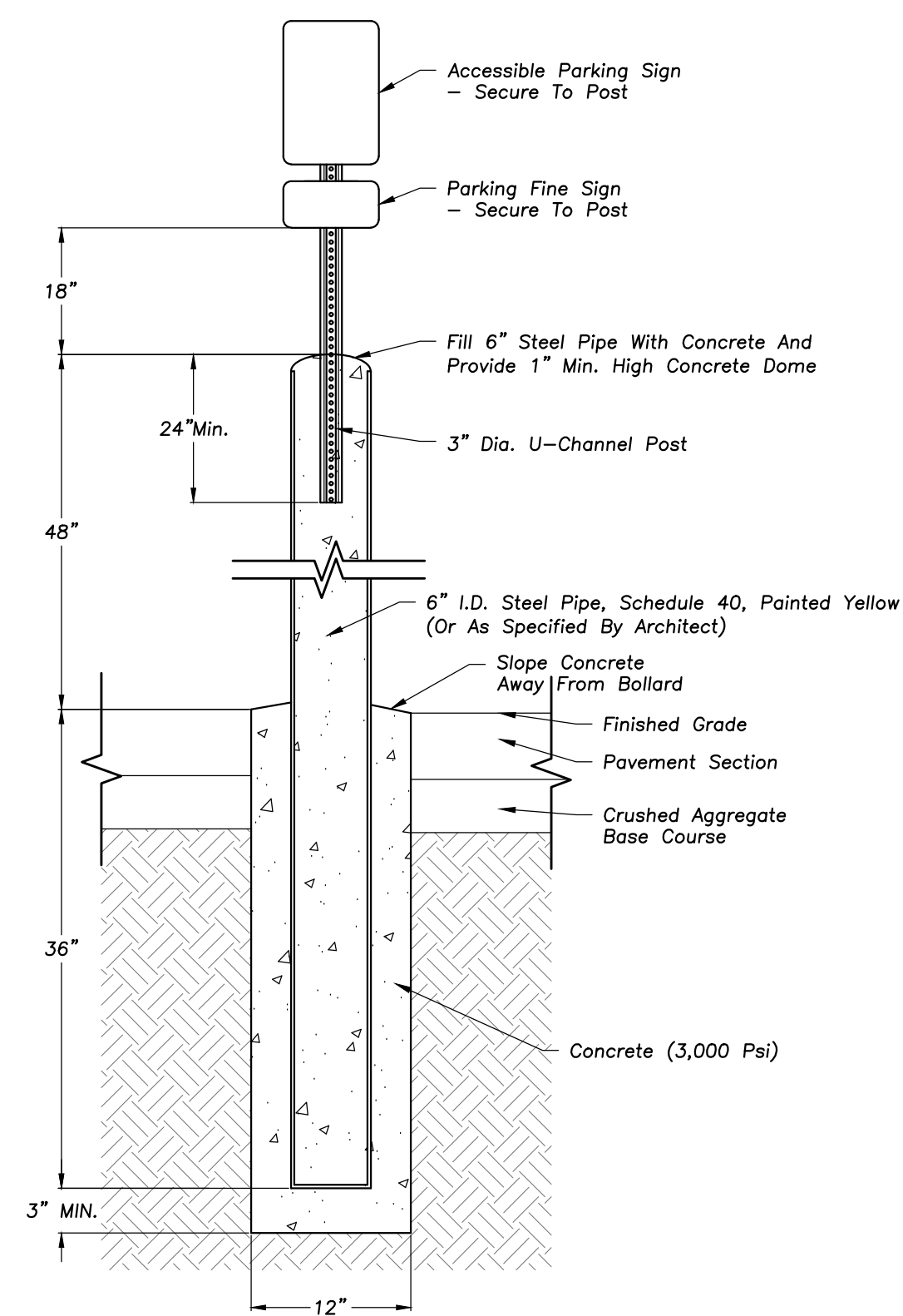
Verify With the Local Authorities Having Jurisdiction that Detectable/Tactile Warning Surface Tiles are an Acceptable Method of Providing for the Detectable Warning Surface.

Verify With the Local Authorities Having Jurisdiction that the Manufacturer's Products are Acceptable for the Detectable Warning Surface.

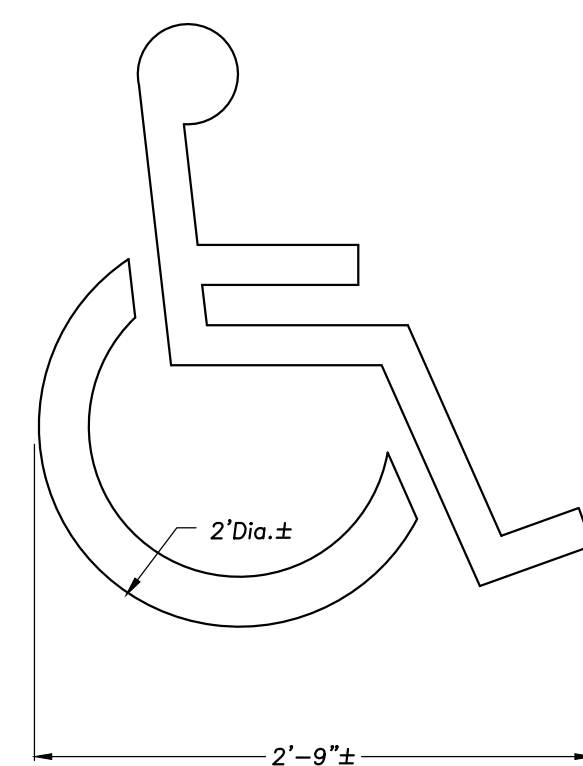
ACCESSIBLE RAMPS FOR SIDEWALKS



ACCESSIBLE PARKING SIGN

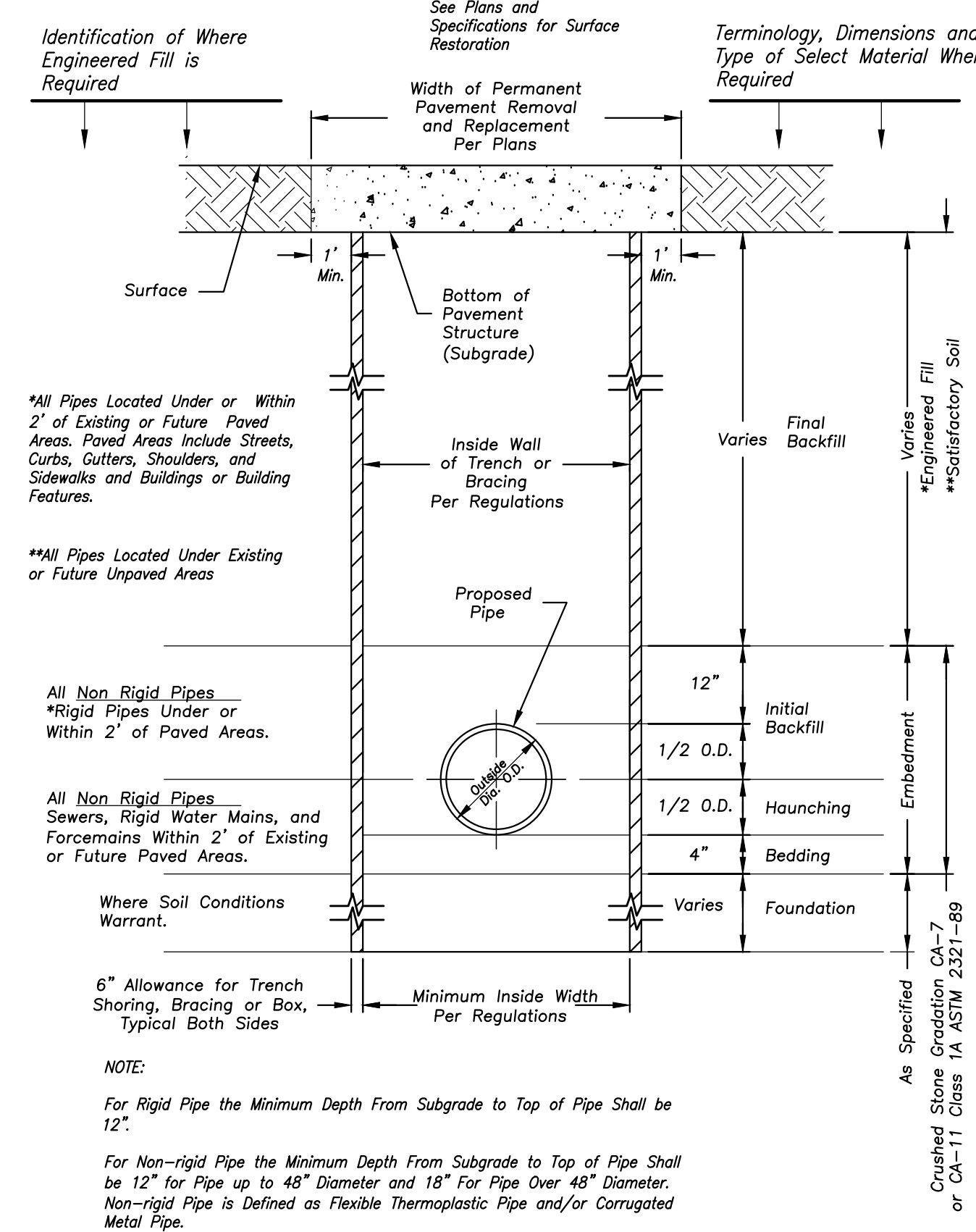


ACCESSIBLE PARKING SIGN IN BOLLARD



Note: All Paint Shall Be 4" Wide Yellow Lines (Typ.)

ACCESSIBLE PARKING STALL PAVEMENT MARKING



STANDARD SEWER AND WATER TRENCH SECTION

MALLARD POINT SENIOR APARTMENTS

W. Drake Dr.
Channahon, IL 60661

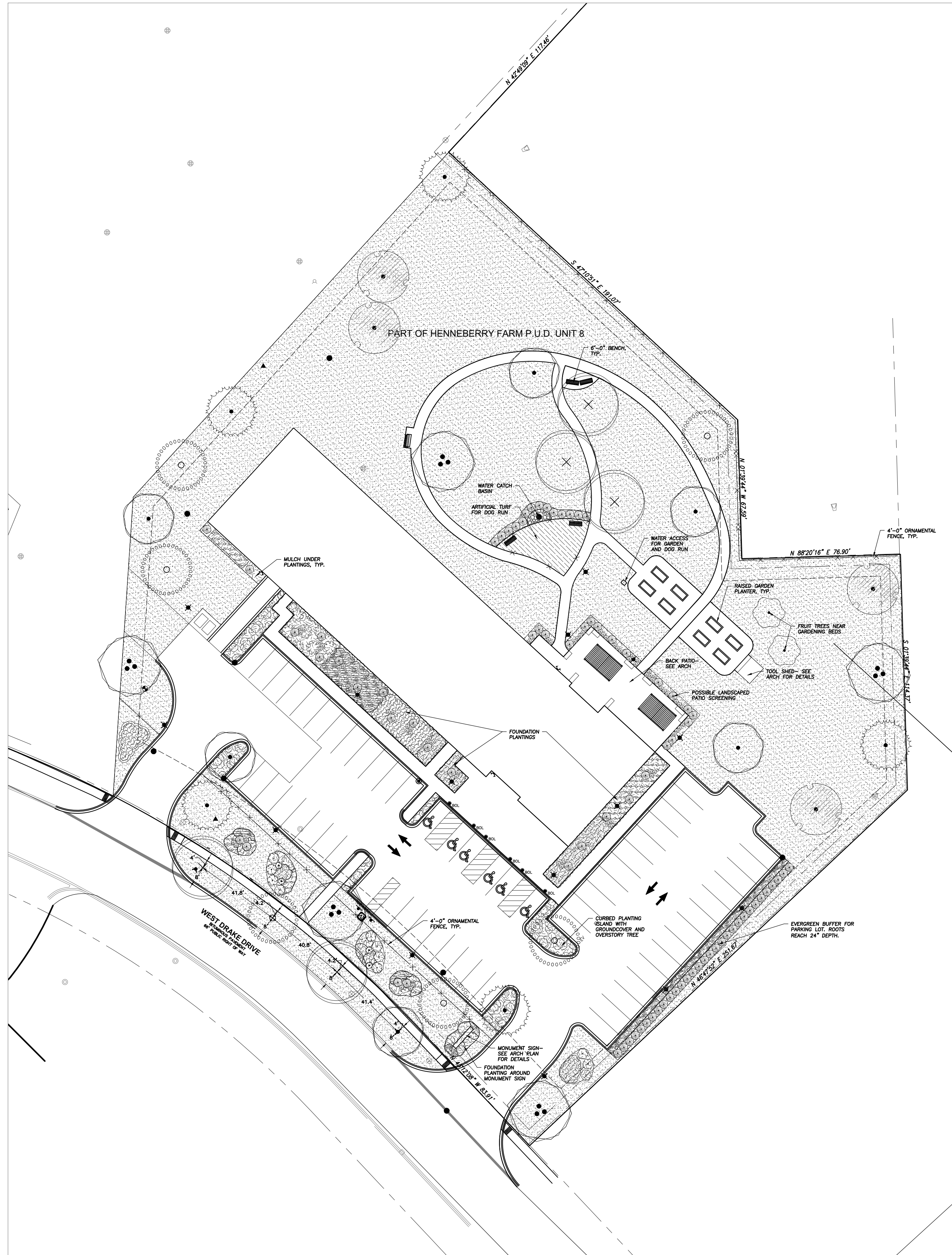


145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184003220
EXPIRES: 04/30/2027

NO.	ISSUED FOR	DATE
3	Design Development Revisions	01.16.26
	Issued for Final PUD	02.18.26

NOT FOR CONSTRUCTION

STAMP	SHEET NAME	PROJECT NUMBER	SHEET NUMBER
	SITE WORK DETAILS	241005	C601
		DRAWN BY: KM	CHECKED BY: TB



PLANT SCHEDULE

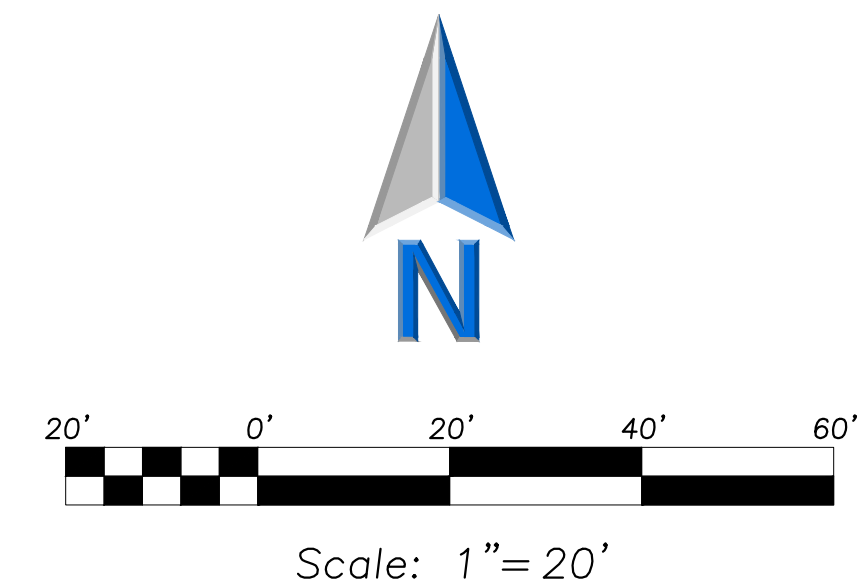
SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY
CANOPY TREES			
	ACE RBR	ACER RUBRUM / RED MAPLE	6
	QUE IMB	QUERCUS IMBRICARIA / SHINGLE OAK	5
	QUE RUB	QUERCUS RUBRA / NORTHERN RED OAK	5
	TAX DIS	TAXODIUM DISTICHUM / BALD CYPRESS	5
	TIL AME	TILIA AMERICANA / AMERICAN LINDEN	6
EVERGREEN TREES			
	PIN STR	PINUS STROBUS / WHITE PINE	4
UNDERSTORY TREES			
	AME LAE	AMELANCHIER LAEVIS / ALLEGHENY SERVICEBERRY	2
DECIDUOUS SHRUBS			
	HYD NBC	HYDRANGEA ARBORESCENS 'NCHA4' / INCREDIBL® BLUSH HYDRANGEA	7
	POT DAG	POTENTILLA FRUTICOSA 'JEFMAN' / MANDARIN TANGOE BUSH CINQUEFOIL	4
	VIB MUF	VIBURNUM DENTATUM 'BLUE MUFFIN' / BLUE MUFFIN ARROWWOOD VIBURNUM	4
EVERGREEN SHRUBS			
	THU CGB	THUJA OCCIDENTALIS 'CONGABE' / FIRE CHIEF™ ARBORVITAE	45
	THU DAN	THUJA OCCIDENTALIS 'DANICA' / DANICA ARBORVITAE	73
	THU SMA	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	37
GROUND COVERS			
	ACH STR	ACHILLEA MILLEFOLIUM 'STRAWBERRY SEDUCTION' / STRAWBERRY SEDUCTION COMMON YARROW	97
	AMS SLC	AMSONIA TABERNAEMONTANA SALICIFOLIA / WILLOWLEAF BLUESTAR	76
	COR TIC	COREOPSIS GRANDIFLORA 'SUNRAY' / SUNRAY TICKSEED	242
	GEU TRI	GEUM TRIFLORUM / PRAIRIE SMOKE	514
	LIA SPI	LIATRIS SPICATA / BLAZING STAR	257
	SYM HE3	SYMPHYOTRICHUM ERICOIDES / HEATH ASTER	160
GRASSES AND SEDGES			
	ERA SPE	ERAGROSTIS SPECTABILIS / PURPLE LOVEGRASS	427
	SPO HET	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSSEED	7
TURF GRASS			
	TUR SOD	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	55,469 SF

CONCEPT PLANT SCHEDULE

	MULCH	6,760 SF
	ARTIFICIAL TURF	717 SF
	RIVER ROCK	59 SF

LANDSCAPE NOTES:

1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISTORTED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS THE DRIP LINE OF THE TREE TO BE PROTECTED UNLESS SPECIFIED OTHERWISE.
8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING.
13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
15. ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD. ALL TURF GRASS AREAS ADJACENT TO PAVEMENT OR CURB SHALL BE GRADED FLUSH WITH THAT PAVEMENT AND ALLOW POSITIVE DRAINAGE. ANY SETTLEMENT OF THE TURF GRASS AREAS SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL ACCEPTANCE BY OWNER.
17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
19. ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
20. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
22. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
23. REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
24. PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.



MALLARD POINT SENIOR APARTMENTS

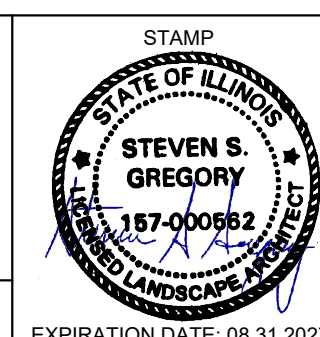
W. Drake Dr.
Channahon, IL 60661



145 COMMERCE DRIVE, SUITE 4
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SHEET NAME
LANDSCAPE PLAN

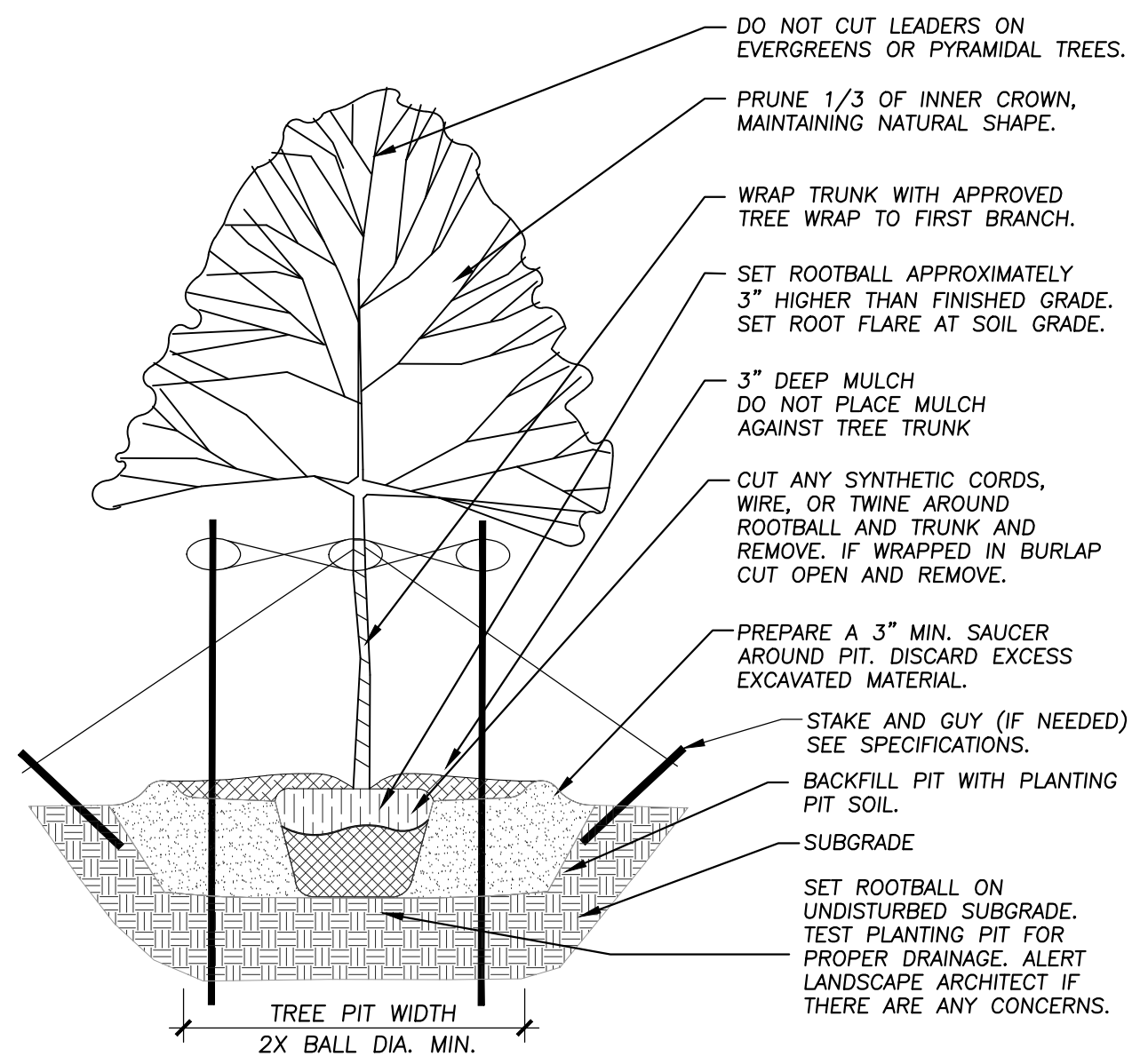
PROJECT NUMBER
241005

DRAWN BY
SSG

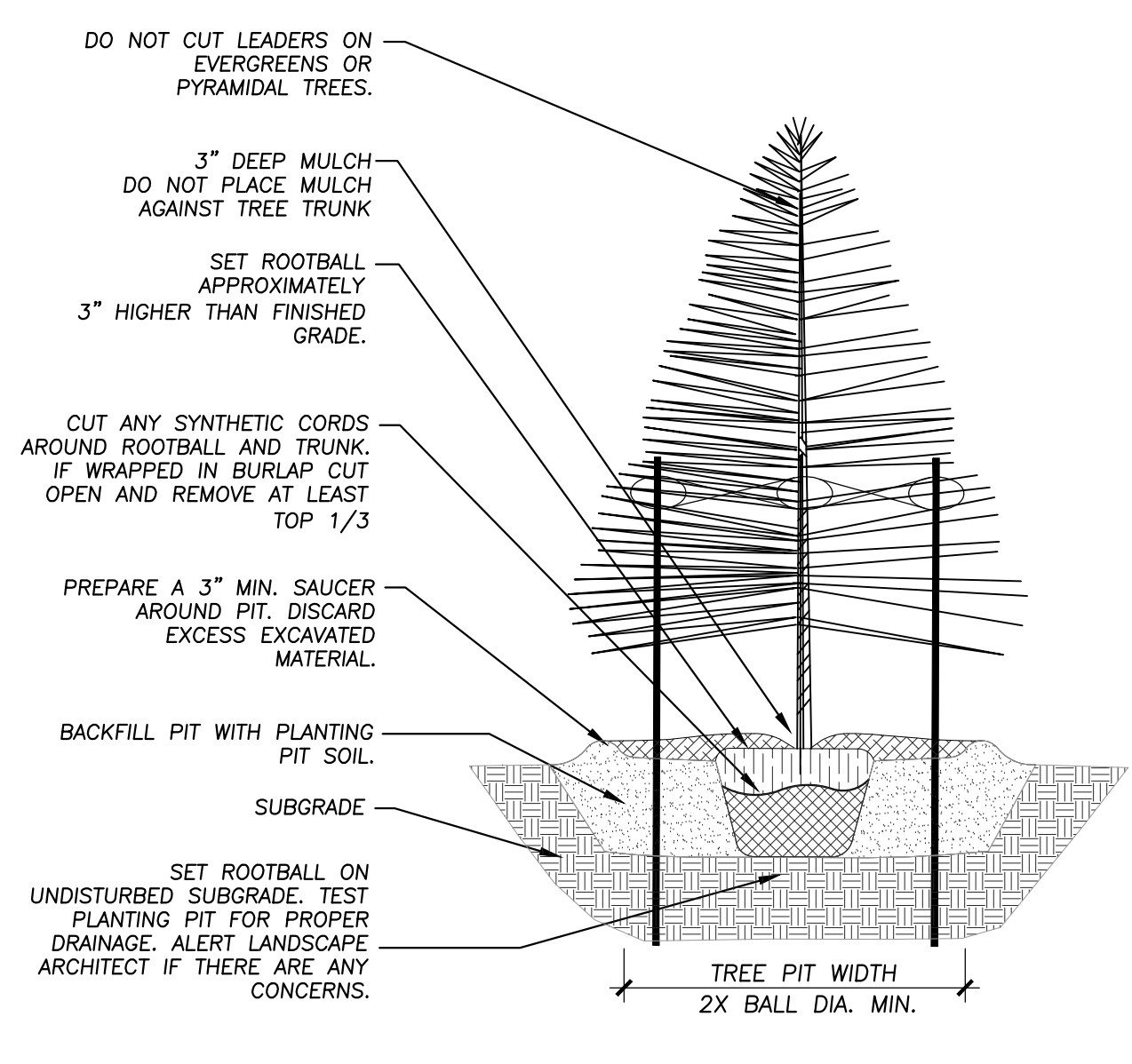
CHECKED BY
TB

SHEET NUMBER
L1.0

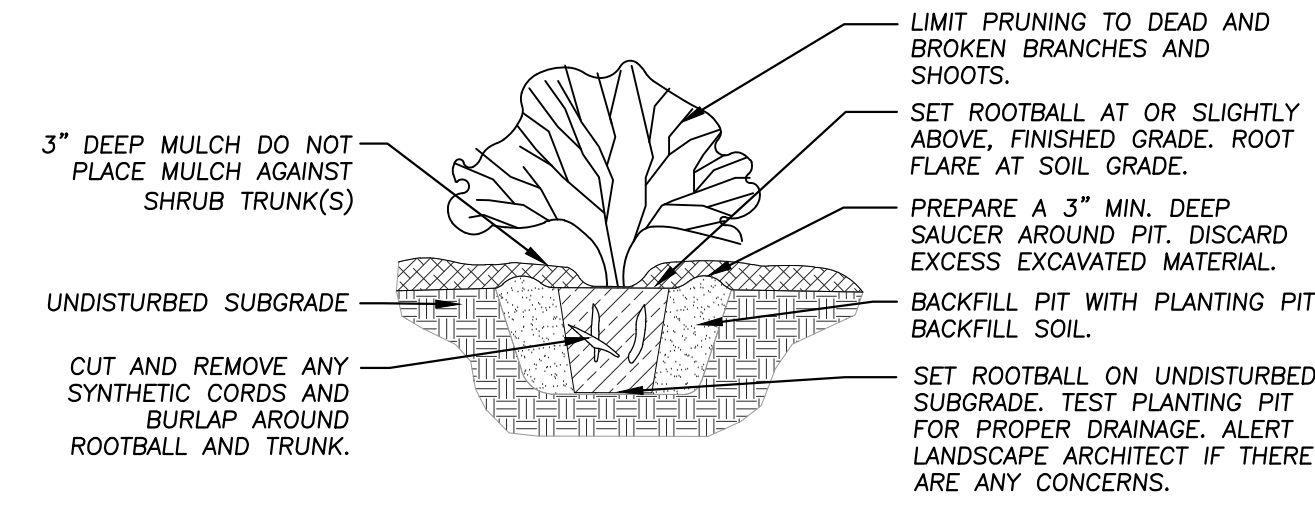
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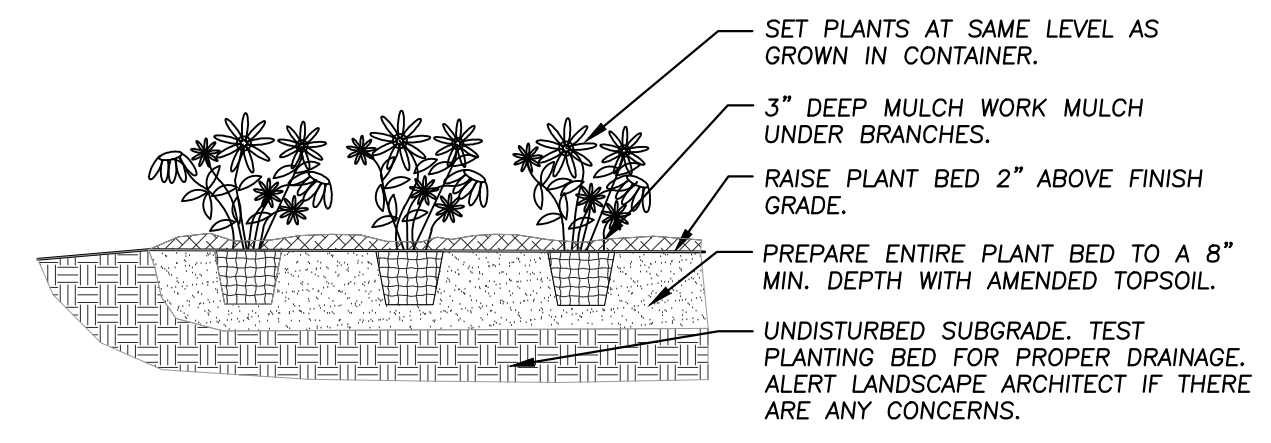
1 TREE PLANTING DETAIL
Not To Scale 329343-01



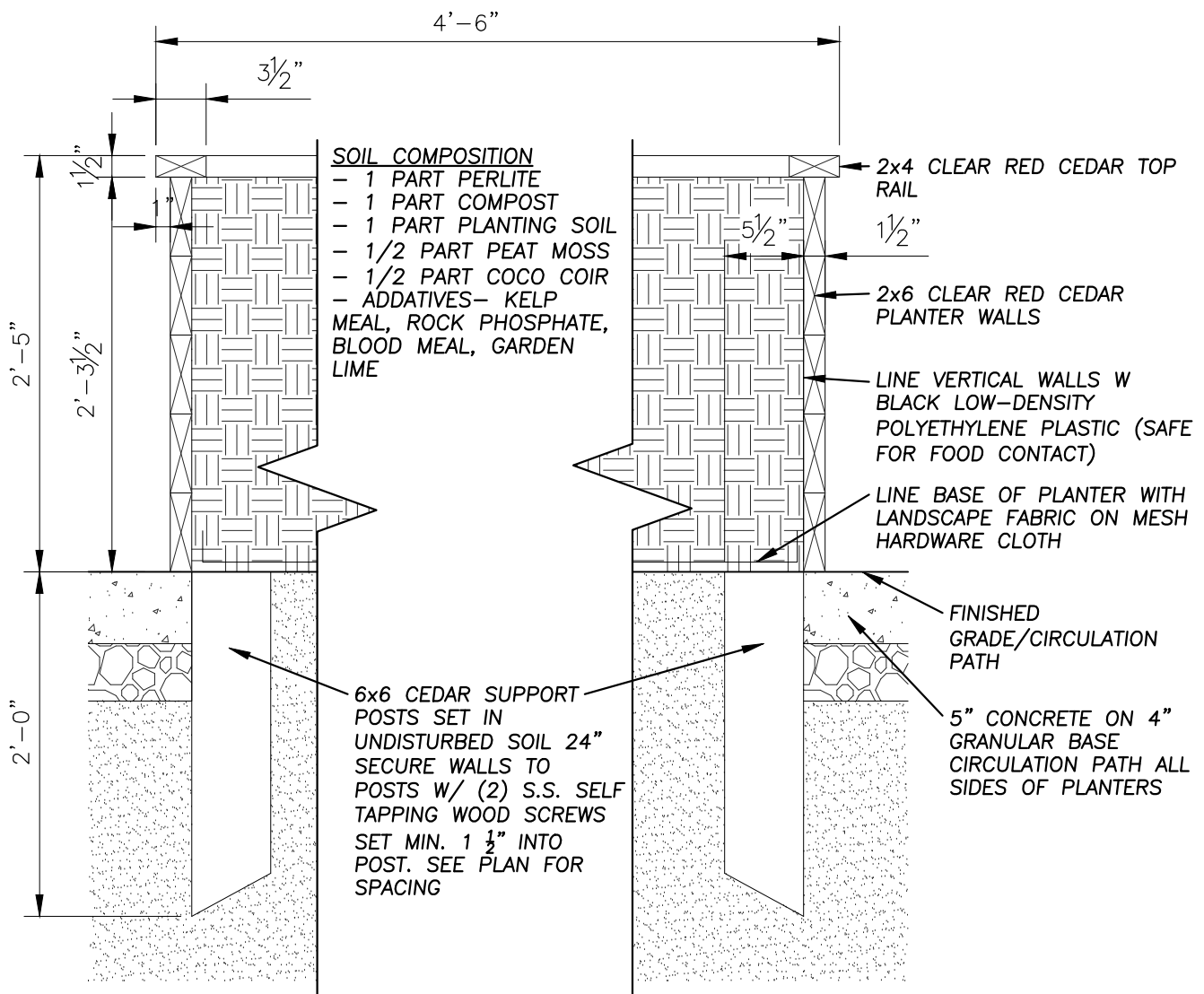
2 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE 329343-02



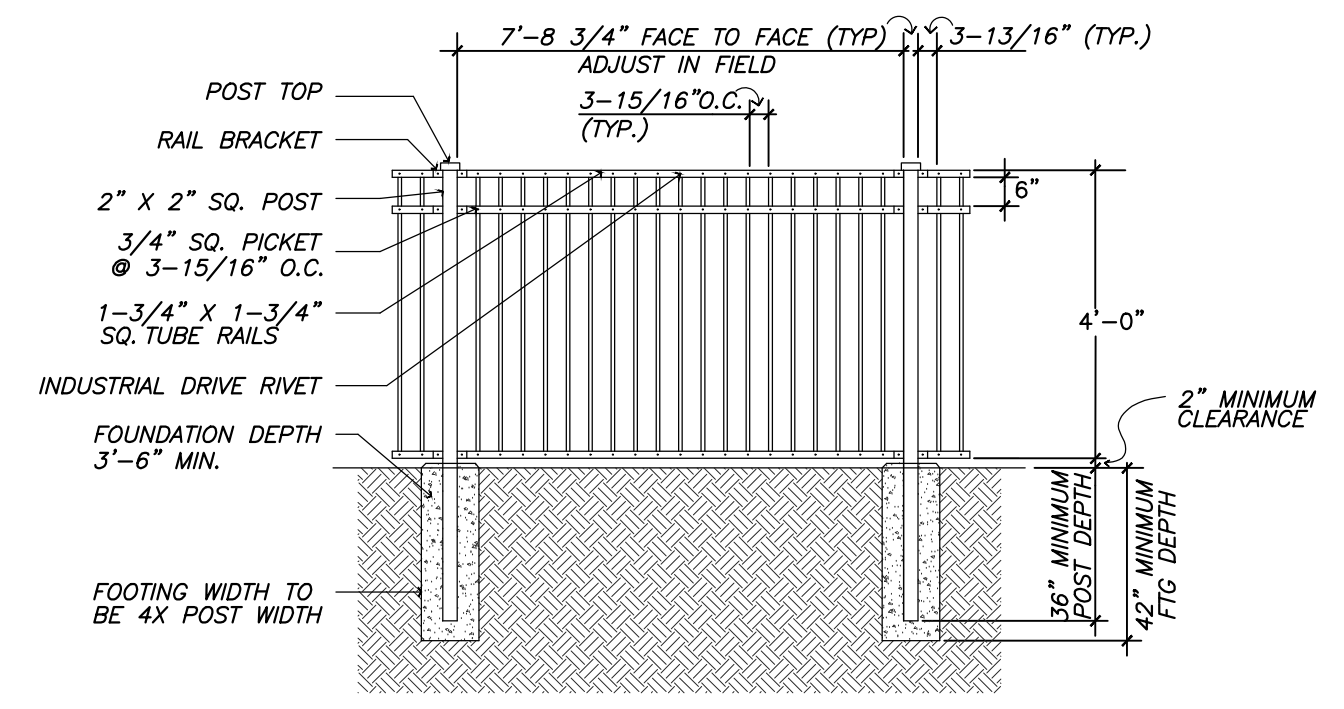
3 SHRUB PLANTING DETAIL
Not To Scale 329333-01



4 ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL
Not To Scale 329301-03

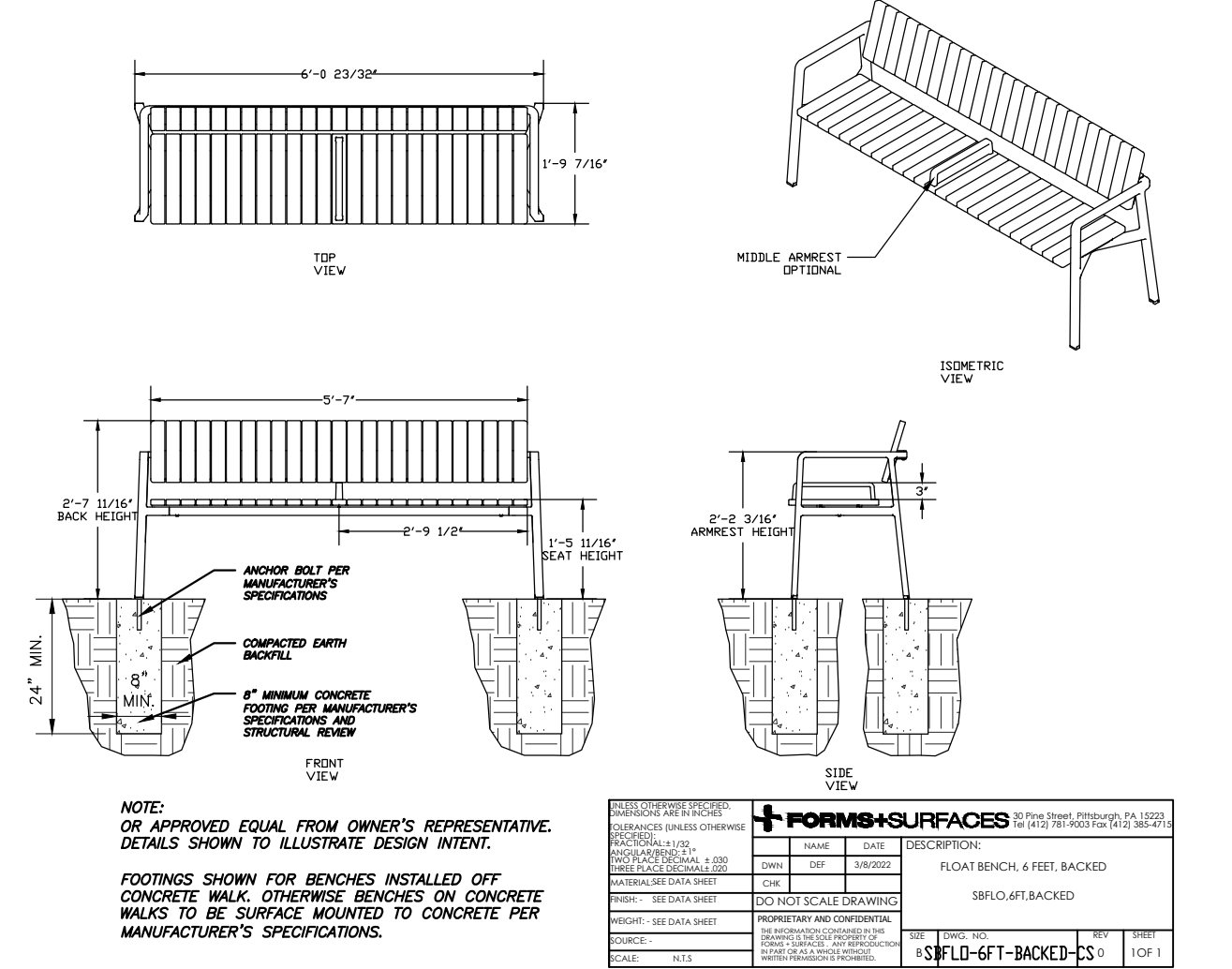


5 GARDEN PLANTER
NOT TO SCALE 329414-18



6 4' ORNAMENTAL METAL FENCE
Not To Scale 323119-102

NOTE:
• FENCING IS ALUMINUM, WITH HIGH PERFORMANCE COATING.
• SITE FENCING IS TO MATCH EXISTING 4' HIGH ORNAMENTAL METAL FENCE ON SITE.
• COLOR TO SELECTED BY OWNER / ARCHITECT PRIOR TO ORDERING.
• FENCE AND GATE DETAILS SHOWN FOR DESIGN INTENT ONLY.
• FENCING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
• CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.



7 6' FLOAT BENCH - BACKED WITH FOOTINGS
Not To Scale 129343.13-85

Plotted: 2/18/26 @ 4:34pm By: atelier

MALLARD POINT SENIOR APARTMENTS W. Drake Dr. Channahon, IL60661	 145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 FAX (847) 223-4864 EMAIL: INFO@EA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003220 EXPIRES: 04/30/2027	NO. ISSUED FOR 3 Design Development Revisions 4 Issued for Final PUD	DATE 01.16.26 02.18.26	NOT FOR CONSTRUCTION		SHEET NAME LANDSCAPE DETAILS	PROJECT NUMBER 241005	SHEET NUMBER L2.0
		DRAWN BY SSG	CHECKED BY TB			SHEET NUMBER L2.0		



FRONT BUILDING PERSPECTIVE

DRAFT - NOT FOR CONSTRUCTION

Lincoln Avenue Communities
401 Wilshire Blvd., 11th Floor,
Santa Monica, CA 90401

MALLARD POINT SENIOR APARTMENTS

W. Drake Dr.
Channahon, IL 60410
10/24/24

©2024 WJW ARCHITECTS

WJW
Architects
401 W. Superior St., Suite 400 Chicago, IL 60654
312-542-5587 www.wjwarchitects.com



FROM: Scott R. McMaster, Director of Community Development

DATE: May 6, 2026

SUBJECT: Final Plat of Subdivision – Planned Unit Development (P.U.D.) Southern Crossing Unit 4 for Lennar

FOR AGENDA: May 11, 2026

SUMMARY

Lennar is requesting approval of a final plat of subdivision for Planned Unit Development (P.U.D.) of Southern Crossing Unit 4. The final plat is for the development of a 83-unit single family home subdivision on ±27 acres near the southeast corner of Ridge Road and Route 6.

GENERAL INFORMATION

APPLICANT: Lennar

LOCATION: Southeast Corner of Southern Crossings

PIN: 03-24-101-008

SIZE: ±27 acres

EXISTING ZONING: R-3 Residential District

ADJACENT ZONING & LAND USE:

Direction	Zoning	Jurisdiction	Use
North	C-3 General Business	Village	Retail
West	C-3 General Business	Village	Vacant Land
South	R-1 Single Family Residential	Village	Single Family Residence
East	C-3 General Business	Village	Vacant Land

Zoning Map**Location Map****RELEVANT PLAN(S)**

COMPREHENSIVE PLAN DESIGNATION: Commercial Corridor

APPLICATION REQUEST(S)

- Approval of Final Plat of Subdivision

BACKGROUND INFORMATION

- August 2025 – Presented concept plan to PZC and Village Board
- February 2026 – Approval of a Preliminary P.U.D. Plat of Subdivision and Rezoning the Property to R-3

PUBLIC NOTICE SUMMARY

This request does not require the completion of public notices.

STAFF COMMENTS AND CONDITIONS

- Any recommendation of approval should include the condition of staff review and approval of final engineering.

STANDARDS

Standards for Review of Plats and Site Plans:

The Planning and Zoning Commission shall recommend approval and the corporate authorities shall approve a preliminary or final plat or a preliminary or final site plan, unless it makes written findings specifying the manner in which:

- (1) The design and layout of the subdivision site plan or development does not conform to the provisions of this chapter.
- (2) The applicant has not made adequate provision to install improvements required by the Planning and Zoning Commission or corporate authorities under authority of this chapter.
- (3) The final plat of subdivision or final site plan fails to comply with an approved preliminary plat of subdivision site plan or preliminary site plan.
- (4) The plat or site plan does not conform with this chapter, the Comprehensive Plan, the Official Zoning Map, the Stormwater Detention Regulations (Ch. 53), Flood Hazard Prevention (Ch. 153), Soil Erosion Regulations (Ch. 157), established village planning policies, and all other village ordinances.
- (5) The provisions for vehicular loading, unloading, parking or circulation on the parcel or onto adjacent public rights-of-way will create hazards to safety or will cause significant burdens on transportation facilities that could be avoided by modification of the plan.
- (6) The vehicular and pedestrian traffic circulation system creates hazards to safety that could be avoided by modification of the plan.
- (7) The proposed plan unnecessarily and in specified particulars destroys, damages, or detrimentally alters significant natural, topographic or physical features of the site and development.
- (8) The proposed landscaping, screening or lighting fails to provide adequate acoustical or visual privacy to incompatible adjacent uses that could be avoided by modification of the plan.
- (9) The bulk and location of proposed buildings and structures will have significant adverse impact on adjacent property and development of the parcel is not feasible in a manner that will avoid these consequences.

SUPPORTING DOCUMENTS

- Plat of Subdivision

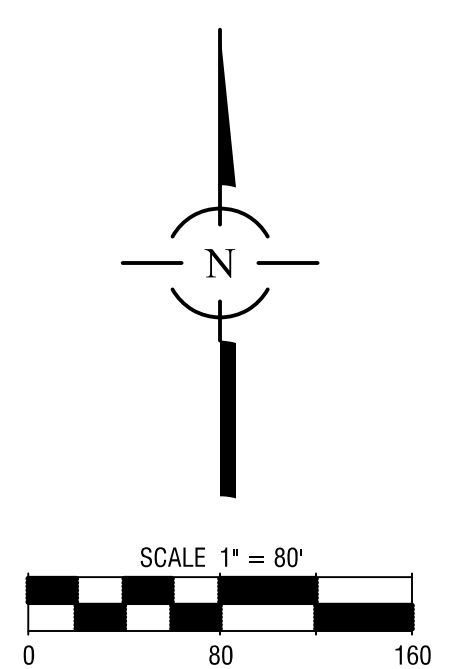
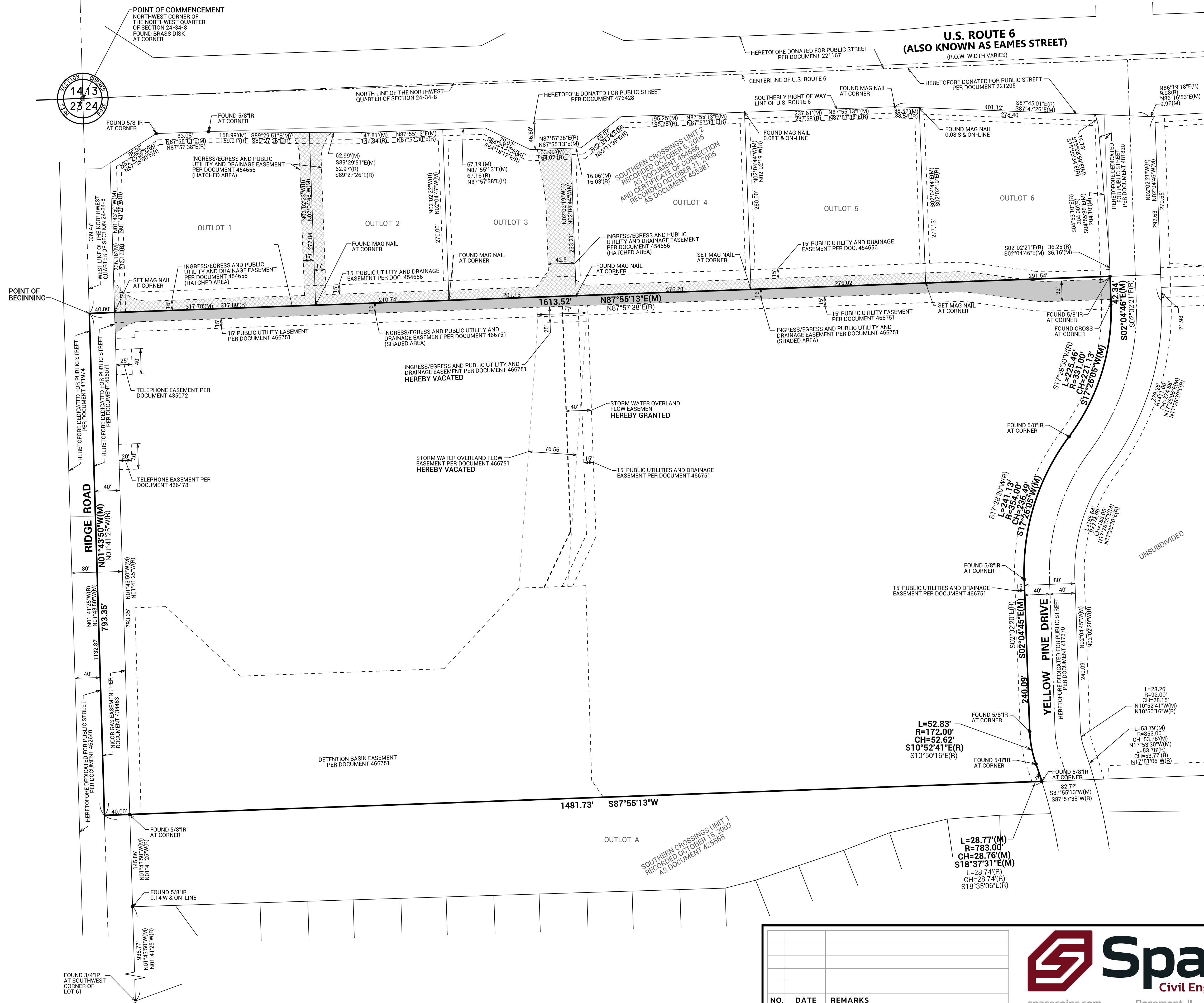
ACTION REQUESTED OF THE COMMISSION

- Review and make a Recommendation including Findings of Fact to the Village Board regarding the application for final plat of subdivision.

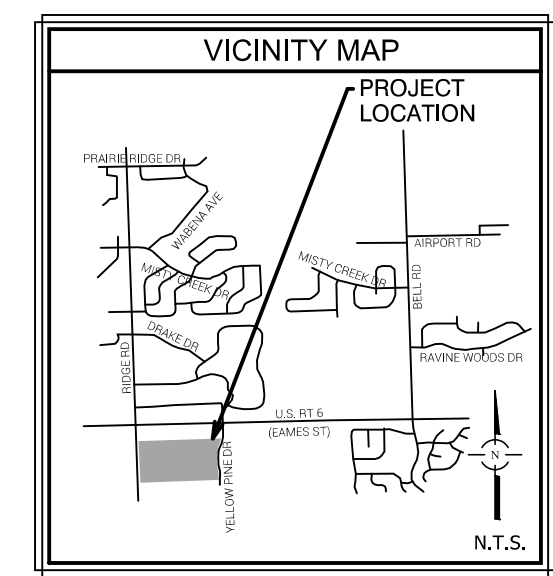
Suggested Motion – Motion to recommend that the Village Board approve the final plat of subdivision for Southern Crossing PUD Unit 4 to allow for this development.

FINAL PLAT OF SOUTHERN CROSSINGS - UNIT 4 A PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 34 NORTH,
RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, GRUNDY COUNTY, ILLINOIS.



BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE BASED ON NAD83
ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE
(2011 ADJUSTMENT) AND NAVD88 (GEOID 12B) UTILIZING
GNSS EQUIPMENT AND TopNETive RTK NETWORK.



**FOR REVIEW
PURPOSES ONLY**

PREPARED FOR:
LENNAR
1700 E. GOLF RD
SUITE 1100
SCHAUMBURG, IL 60173

NO.	DATE	REMARKS

Spaceco
Civil Engineering & Surveying

spacecoinc.com Rosemont, IL - Morris, IL - Indianapolis, IN

Morris Office
224 1/2 N. Liberty Street
Morris, Illinois 60450
Phone: (815) 941-0260

FILENAME:
9104.06_PUD-FINAL
DATE: 04/08/2026
JOB NO. 9104.06
SHEET
1 OF 4

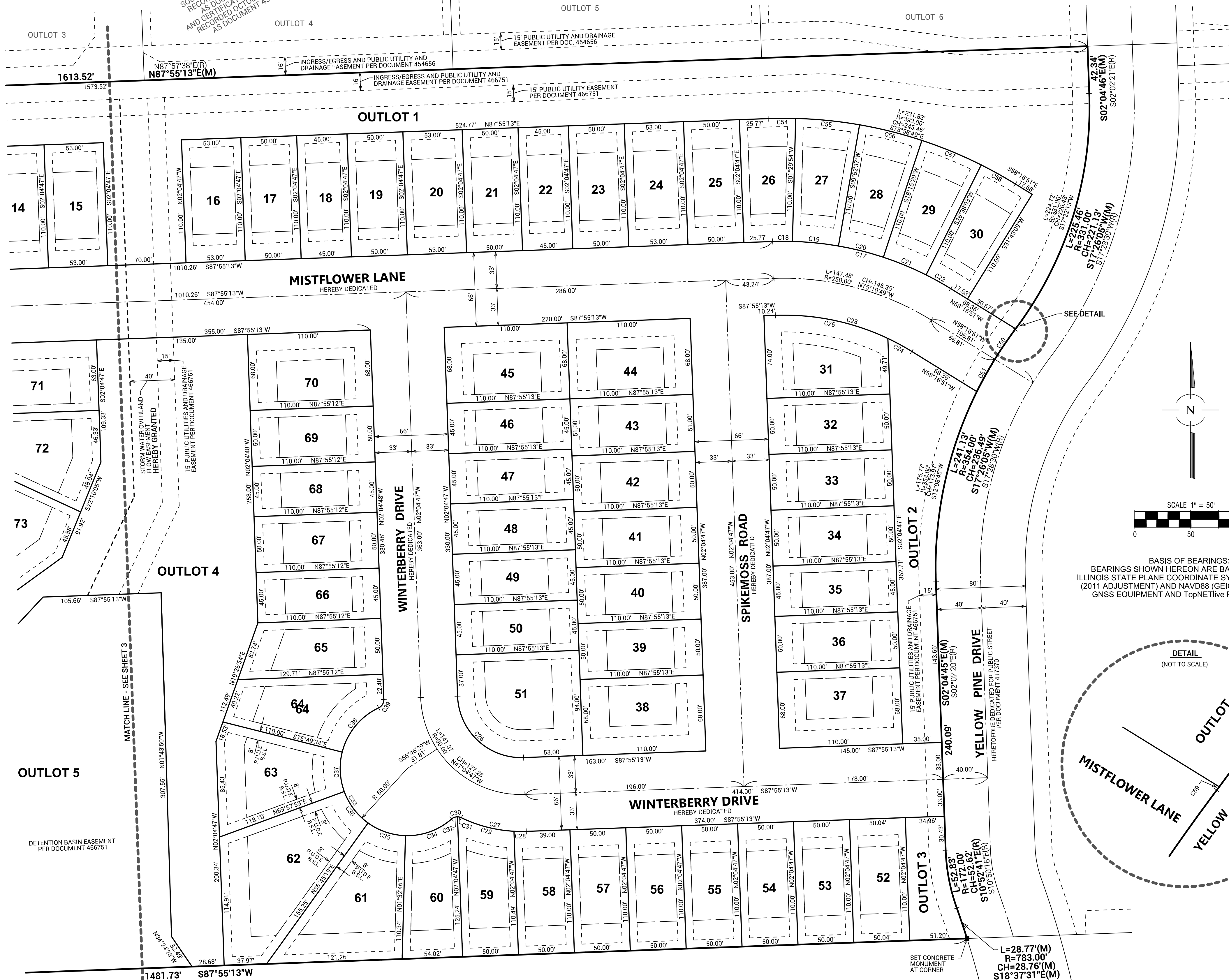
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FINAL PLAT OF SOUTHERN CROSSINGS - UNIT 4 A PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 34 NORTH,
RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, GRUNDY COUNTY, ILLINOIS.

SOUTHERN CROSSINGS UNIT 2
RECORDED OCTOBER 6, 2005
AS DOCUMENT 454659
AND CERTIFICATE OF CORRECTION
RECORDED OCTOBER 21, 2005
AS DOCUMENT 455361

SOUTHERN CROSSINGS UNIT 1
RECORDED OCTOBER 15, 2005
AS DOCUMENT 455585

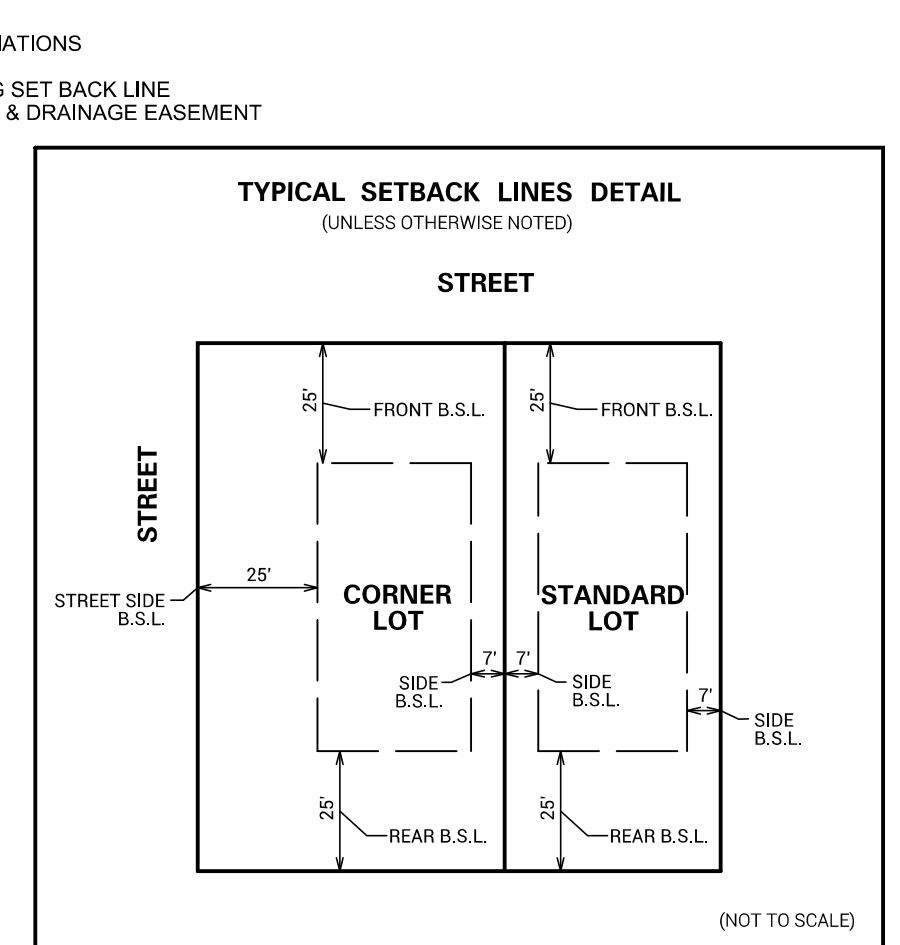
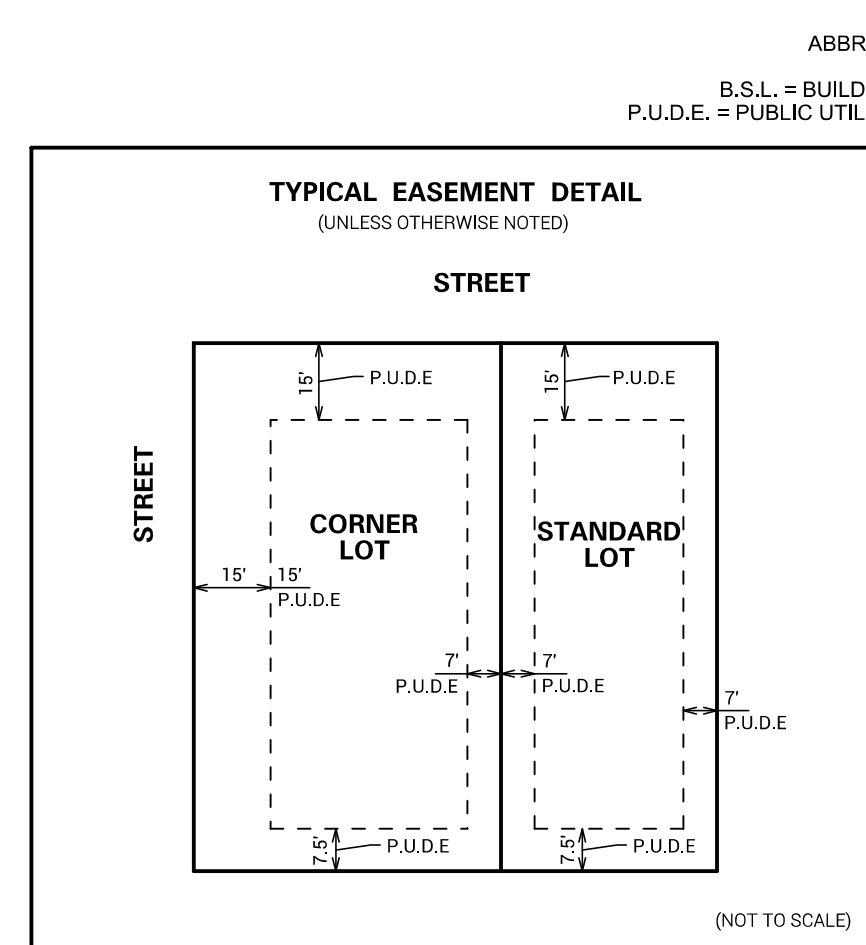
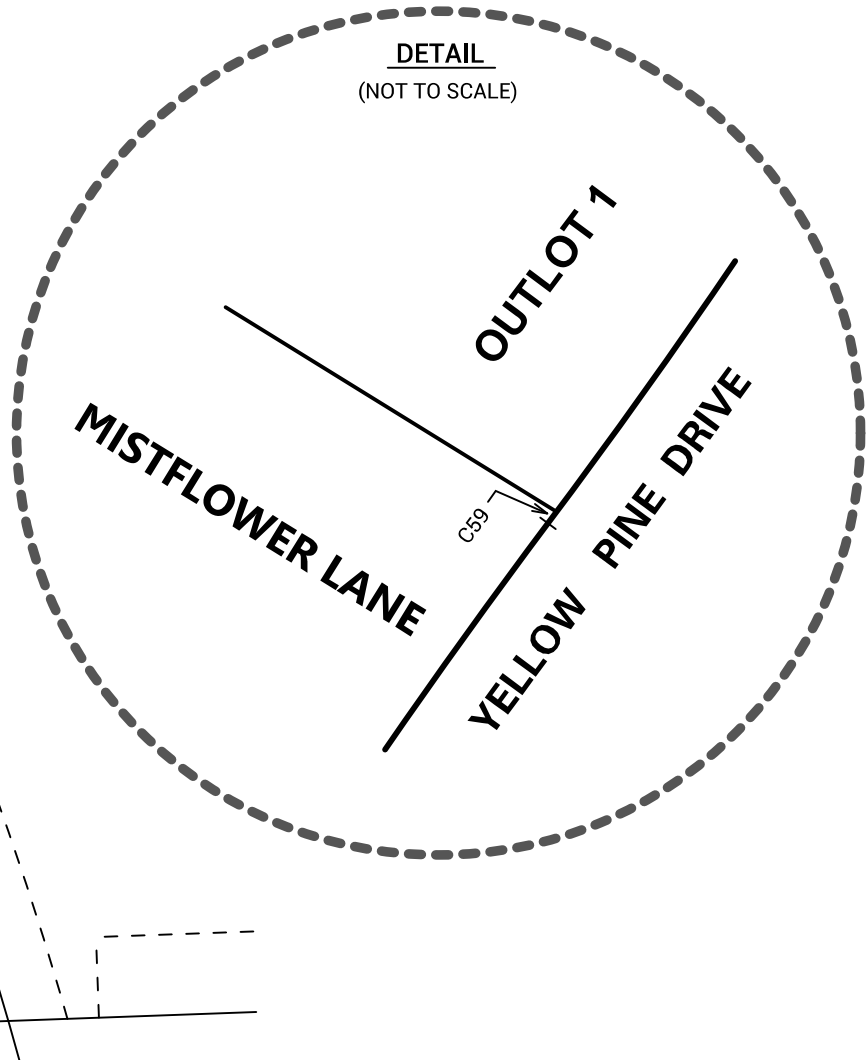


CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	20.61'	123.00'	20.59'	S83°07'12"W
C2	3.02'	123.00'	3.02'	S77°37'01"W
C3	23.63'	123.00'	23.59'	S82°25'01"W
C4	17.50'	40.00'	17.36'	S89°26'59"W
C5	25.44'	60.00'	25.25'	S89°50'23"W
C6	38.03'	60.00'	37.40'	S59°32'10"W
C7	34.98'	60.00'	34.38'	S24°40'43"W
C8	17.59'	60.00'	17.53'	S00°25'19"E
C9	116.04'	60.00'	98.78'	S46°34'53"W
C10	17.50'	40.00'	17.36'	S03°42'46"W
C11	10.32'	123.00'	10.31'	S13°50'47"W
C12	23.63'	123.00'	23.59'	S10°44'44"W
C13	13.31'	123.00'	13.31'	S08°20'36"W
C14	82.60'	57.00'	75.56'	S46°45'21"W
C15	29.52'	57.00'	21.19'	S20°04'36"W
C16	53.08'	57.00'	51.19'	S61°35'24"W
C17	166.94'	283.00'	164.53'	N75°10'49"W
C18	17.68'	283.00'	17.67'	S89°42'33"W
C19	41.38'	283.00'	41.35'	N84°18'45"W
C20	41.38'	283.00'	41.35'	N75°56'02"W
C21	41.38'	283.00'	41.35'	N67°33'19"W
C22	25.12'	283.00'	25.11'	N60°49'24"W
C23	128.01'	217.00'	126.16'	N75°10'49"W
C24	24.35'	217.00'	24.33'	N61°29'42"W
C25	103.68'	217.00'	102.68'	N78°23'40"W
C26	89.54'	57.00'	80.61'	N47°04'47"W
C27	59.94'	123.00'	59.35'	N78°07'11"W
C28	11.02'	123.00'	11.01'	N89°30'50"W
C29	48.92'	123.00'	48.60'	N75°33'14"W
C30	9.36'	8.00'	8.84'	S82°19'02"W
C31	3.56'	8.00'	3.53'	N76°54'40"W
C32	5.80'	8.00'	5.67'	S69°33'57"W
C33	205.21'	60.00'	118.84'	N33°13'33"W
C34	44.77'	60.00'	43.74'	S70°10'13"W
C35	35.82'	60.00'	35.29'	N71°20'57"W
C36	35.82'	60.00'	35.29'	N37°08'24"W
C37	35.82'	60.00'	35.29'	N02°55'51"W
C38	52.97'	60.00'	51.26'	N39°27'51"E
C39	9.33'	8.00'	8.81'	N31°20'32"E
C40	207.35'	66.00'	132.00'	S87°55'13"W
C41	30.95'	66.00'	30.67'	S11°21'16"W
C42	35.99'	66.00'	35.54'	S40°24'32"W
C43	36.74'	66.00'	36.26'	S71°58'28"W
C44	36.74'	66.00'	36.26'	N76°09'03"W
C45	39.00'	66.00'	38.44'	N43°15'30"W
C46	27.95'	66.00'	27.72'	N14°12'14"W
C47	82.25'	57.00'	75.30'	S46°34'53"W
C48	178.24'	123.00'	163.05'	S46°45'21"W
C49	28.79'	123.00'	28.72'	S11°56'48"W
C50	37.54'	123.00'	37.40'	S27°23'43"W
C51	37.54'	123.00'	37.40'	S44°53'03"W
C52	37.54'	123.00'	37.40'	S62°22'23"W
C53	36.82'	123.00'	36.68'	S79°41'36"W
C54	24.54'	393.00'	24.54'	N89°42'33"E
C55	57.47'	393.00'	57.42'	S84°18'45"W
C56	57.47'	393.00'	57.42'	S75°56'02"E
C57	57.47'	393.00'	57.42'	S67°33'19"E
C58	34.88'	393.00'	34.87'	S60°49'24"E
C59	0.74'	331.00'	0.74'	S36°53'03"W
C60	32.31'	354.00'	32.29'	S34°20'01"W
C61	33.05'	354.00'	33.04'	S29°02'41"W

OVERALL AREA TABLE (MORE OR LESS)		
RESIDENTIAL LOTS	SQUARE FEET	ACRES
OUTLOT 1	520,171	11.941
OUTLOT 2	15,284	0.351
OUTLOT 3	4,321	0.099
OUTLOT 4	94,502	2.170
OUTLOT 5	192,014	4.408
DEDICATED R.O.W.	213,096	4.892
EXISTING R.O.W. (BELL ROAD)	31,734	0.728
TOTAL AREA	1,200,220	27.553

LOT AREA TABLE			
LOT	AREA (SQ. FT.)	LOT	AREA (SQ. FT.)
1	5,086	43	5,610
2	5,406	44	7,480
3	5,720	45	7,480
4	8,751	46	4,950
5	6,681	47	4,950
6	6,186	48	4,950
7	4,962	49	4,950
8	4,950	50	4,950
9	5,500	51	9,643
10	5,830	52	5,504
11	5,500	53	5,500
12	4,950	54	5,500
13	4,950	55	5,500
14	5,500	56	5,500
15	5,830	57	5,500
16	5,830	58	5,502
17	5,500	59	5,817
18	4,950	60	5,800
19	5,500	61	9,232
20	5,830	62	11,920
21	5,500	63	7,756
22	4,950	64	6,904
23	5,500	65	5,993
24	5,830	66	4,950
25	5,500	67	5,500
26	5,157	68	4,950
27	5,437	69	5,500
28	5,437	70	7,480
29	5,437	71	6,930
30	5,245	72	7,500
31	7,351	73	7,444
32	5,500	74	7,684
33	5,500	75	8,425
34	5,500	76	13,075
35	4,950	77	7,259
36	5,500	78	6,930
37	7,480	79	9,634
38	7,480	80	6,373
39	5,500	81	8,913
40	5,500	82	7,883
41	5,500	83	6,184
42	5,500		

SCALE 1" = 50'



NOTE: BLANKET MUNICIPAL ACCESS, PUBLIC UTILITY AND DRAINAGE EASEMENT IS HEREBY GRANTED ON ALL OUTLOTS

NOTE: ALL LOT EASEMENTS AND SETBACK LINES ARE HEREBY GRANTED

PREPARED FOR:
LENNAR
1700 E. GOLF RD
SUITE 1100
SCHAUMBURG, IL 60173

**FOR REVIEW
PURPOSES ONLY**

NO.	DATE	REMARKS

spacecoinc.com
Rosemont, IL - Morris, IL - Indianapolis, IN

FILENAME: 9104.06_PUD-FINAL
DATE: 04/08/2026
JOB NO. 9104.06
SHEET 2 OF 4

Morris Office
224 1/2 N. Liberty Street
Morris, Illinois 60450
Phone: (815) 941-0260

